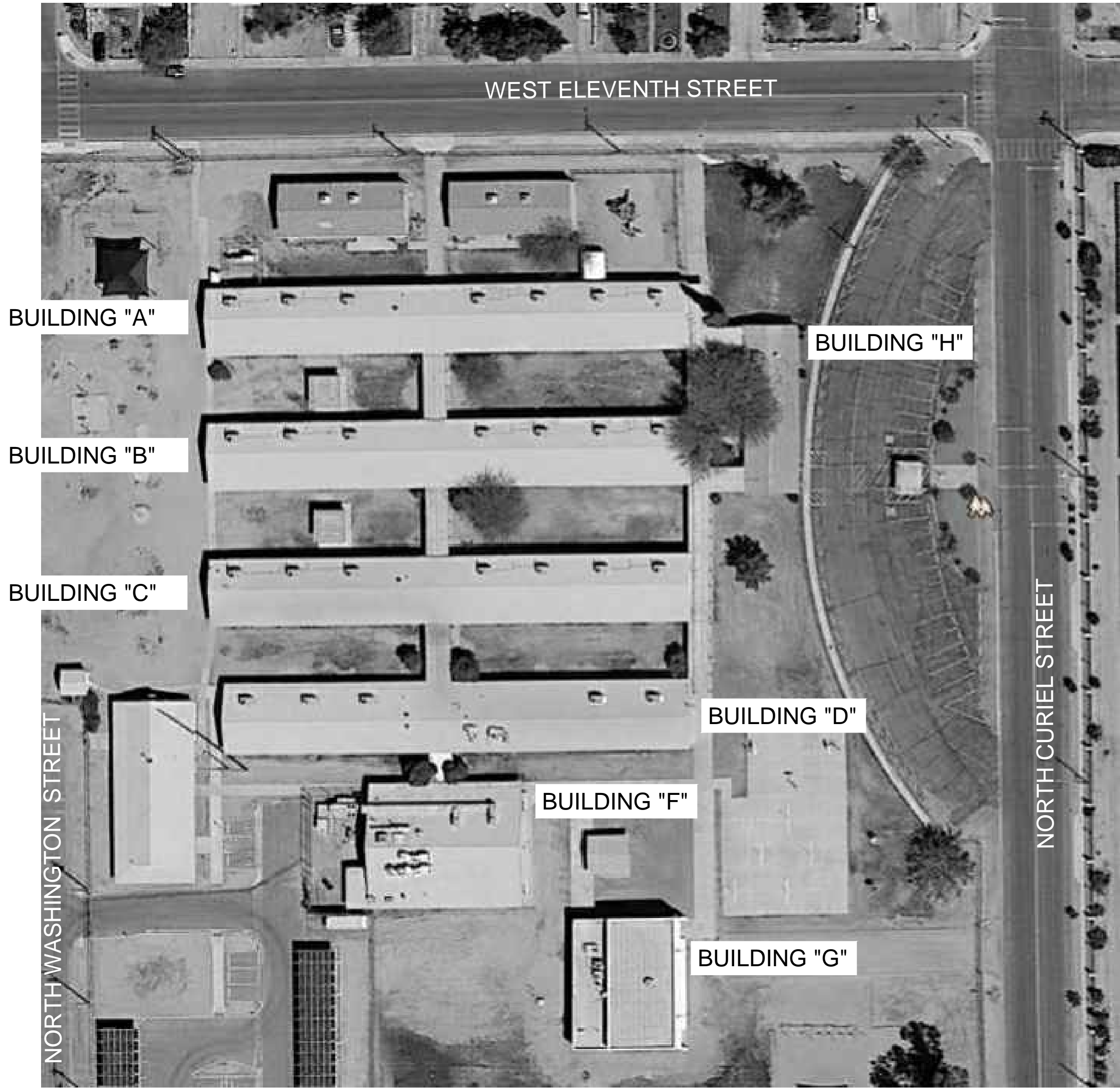


ELOY ELEMENTARY SCHOOL DISTRICT #11
CAMPUS ROOF RESTORATIONS AND BUILDING WEATHERIZATIONS
CURIEL PRIMARY SCHOOL
1000 NORTH CURIEL STREET, ELOY, ARIZONA 85131
NOVEMBER, 2019



CAMPUS PLAN

PROJECT SCOPE:

The Project involves work at the following buildings on the Curiel School Campus: All permanent classroom buildings (Buildings A, B, C and D), the Cafeteria Building (Building F), the Gymnasium Building (Building G), the Administration Building (Building H) and the steel canopy structures between. Portable buildings and "Old Cafeteria" are excluded.

Clean all exterior surfaces, including concrete, masonry, metal, gypsum board, wood fascia, metal fascia and low slope roofs.

Remove all building sealants including those at all expansion and construction joints, window and door frames, sheet metal and flashing joints, penetrations and any other sealants where they occur. Clean and repair joints and cracks, apply new backer rod and sealant.

Excavate top three inches of soil where adjacent to walls at all buildings for application of coating to walls. Regrade for positive drainage after application and cure of coating. Regrade swale on East side of Administration Building for positive drainage.

For the east canopy renovation, cut back the roof eaves at the south east corners of classroom buildings A, B and C to separate the canopy from eave framing. Close new building eave edges with steel channels and/ or formed sheet metal to match existing eave edges. Maintain the canopy framing connections to the building walls. Install new framing as needed to support canopy edge. Tear off existing roof of canopy, repair deck as required and install new membrane roof system and roof blocks on existing roof deck. At building D, build a new enclosure beneath the east eave and extend the canopy roofing membrane onto the enclosure and roof slope for tie-in with shingles.

For the central canopy renovation, tear off existing roof to deck, repair deck as required and install new membrane roof system. Tie-in to existing shingles, include tapered rigid insulation cricket to eliminate ponding condition on canopy.

Remove existing wood security paneling at all exterior building walls.

Remove steel sash window systems from openings in the north walls of classroom buildings A, B and C. Infill the openings with metal stud framing, batt insulation in the stud cavity, EIFS at exterior face and gypsum wall board on the interior face. Provide new aluminum framed insulated storefront windows at select locations.

Existing steel sash windows at the south sides of buildings A, B and C will remain. Remove wood siding, where occurs. Clean, repair, install new weather strip at operable parts, seal joints at head, sill and jamb. Paint.

Existing steel sash windows at the north and south sides of building D will remain. Clean, repair and re-glaze the bottom lites in all window openings. Re-glaze 10 additional lites. Seal joints at head, sill and jamb. Paint.

Remove the existing exterior wood door and frame at the south side of building D. Replace with a new hollow metal door, frame and hardware.

Provide new vented soffit on south side of building D. Drill vent holes in existing wood blocking. Paint existing plywood soffit on north side of building D.

Repair, prepare, block fill and coat all concrete masonry surfaces of all buildings in the project.

Seal all perimeter building/ sidewalk joints.

Prepare and paint all steel, steel doors, steel frames, ferrous metal downspouts, metal trim, metal fascia and exposed flashings.

Prepare, repair, spot prime and paint all paintable horizontal surfaces such as exterior soffits, eaves and ceilings, Cafeteria Building not included.

Repair shingle roofs at all classroom buildings (buildings A, B, C, D) and the Administration Building (building H).

Cafeteria Building (Building F): Remove and replace all wood fascias. Prepare and stain all fascias, exposed wood framing and exposed wood roof deck.

Cafeteria (building F): Provide new attic ventilation. Install ridge vent with new shingle system, install round blocking vents at low side in existing wood truss blocking.

Steep slope roof areas of Cafeteria Building (building F): Remove all roof coverings to the wood substrate. Remove all metal trim and accessories. Inspect substrate and repair as required. Install new fiberglass reinforced shingle system, including new metal trim and accessories. Verify that mechanical curbs comply with roof shingle system warranty requirements and adjust or replace if necessary.

Low slope roof of Gymnasium Building: Remove existing roof coverings and flashings to the deck. Inspect deck and repair as needed and to assure positive drainage throughout the roof area. Install new single ply membrane roof system, including rigid board insulation. Verify that mechanical curbs comply with roof membrane warranty requirements and adjust if necessary. Remove and reinstall all downspouts, replace damaged with new to match existing. Lift mechanical units for proper termination of new roof system. Install new aluminum roof ladders.

Re-grade and compact eroded soil at perimeter of building G. Include new fill beneath and adjacent to concrete stoops.

Remove and reinstall all building mounted signs for coating of exterior walls.

Appropriate trades person to modify or extend any mechanical, electrical, plumbing, CCTV, telephone, security screens, antennae, sound, or lighting facilities, etc. found to obstruct the work of this project.

The project will take place during the school year while the campus is occupied.

PROJECT TEAM

BUILDING OWNER:
ELOY ELEMENTARY SCHOOL DISTRICT #11
1011 NORTH SUNSHINE BOULEVARD
ELOY, ARIZONA 85131

SCHOOL FACILITIES BOARD:
DAVE KENNON, LIASON
CAPITOL WEST TOWER
1700 W. WASHINGTON STREET, SUITE 104
PHOENIX, AZ 85007
(602) 364-0538

ROOFING CONSULTANT
REDTREE CONSULTING
MIKE CROW
(602) 989-2433

ARCHITECT:
ROBERT POLCAR ARCHITECTS, INC.
KIRBY SPITLER, A.I.A.
(602) 317-7209

DRAWING LIST:

A0	PROJECT INFORMATION
A1.1	BUILDINGS A,B & C - PLANS
A1.2	BUILDINGS A,B & C - ELEVATIONS
A2.1	BUILDING D - PLANS
A2.2	BUILDING D - ELEVATIONS
A3.1	BUILDING F - PLANS
A3.2	BUILDINGS F & G - ELEVATIONS
A4.1	BUILDING G - PLANS
A5.1	BUILDING H - PLANS
A5.2	BUILDING H - ELEVATIONS, SECTIONS
A6.1	CANOPIES - ROOF PLANS
A9.1	PHOTOS
A10.1	EIFS DETAILS
A10.2	ROOF DETAILS
A10.3	DETAILS

NOTE:
ALL DIMENSIONS ARE APPROXIMATE. FIELD
VERIFY ALL QUANTITY TAKE-OFFS. DO NOT SCALE
DRAWINGS.

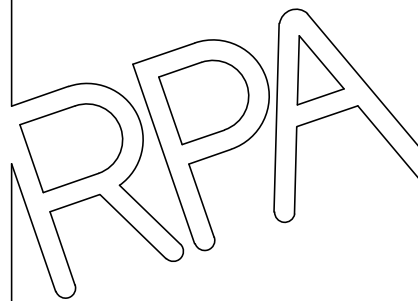
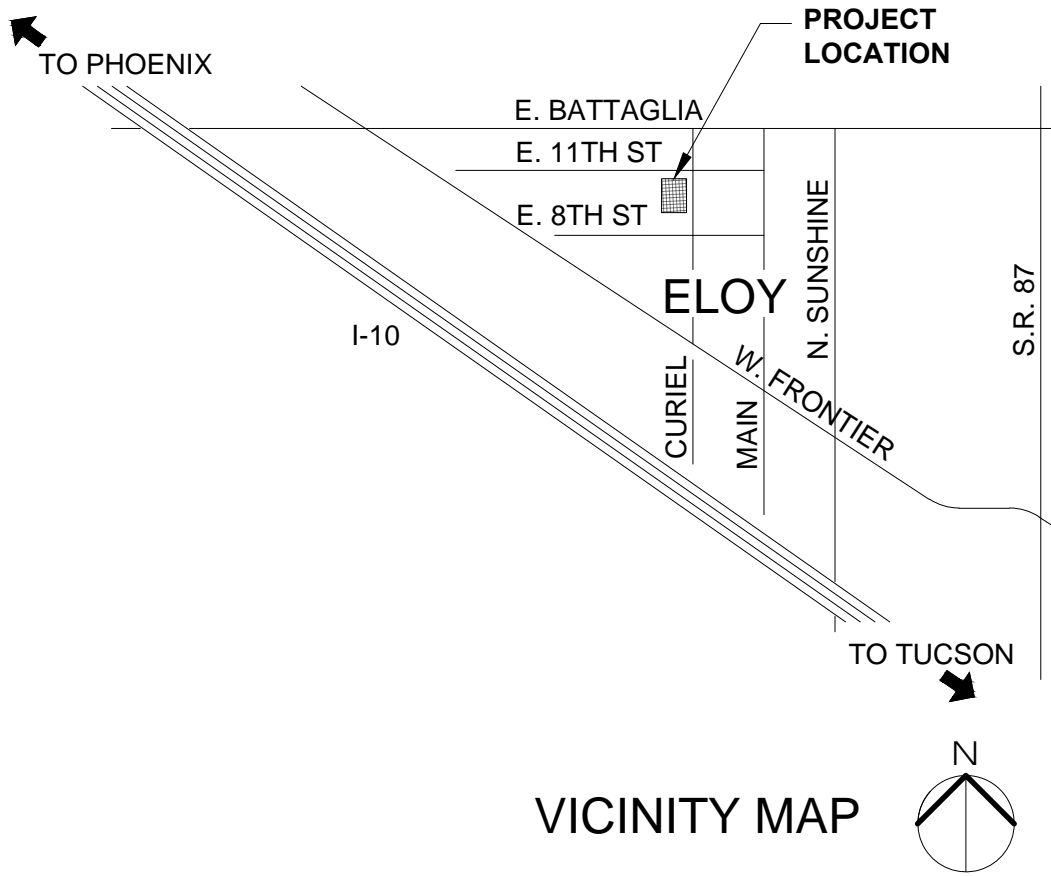
BUILDING MOUNTED UTILITIES AND OTHER
APPURTANCES ARE NOT SHOWN ON THE LINE
DRAWINGS. FIELD VERIFY QUANTITIES AND
LOCATIONS OF THESE ITEMS.

APPLICABLE CODES:

ALL WORK OF THIS PROJECT SHALL BE
PERFORMED IN ACCORDANCE WITH THE 2012
INTERNATIONAL BUILDING CODE (IBC) AND THE
2012 INTERNATIONAL FIRE CODE (IFC).

PROJECT ADDRESS:

CURIEL SCHOOL
1000 NORTH CURIEL STREET
ELOY, ARIZONA 85131

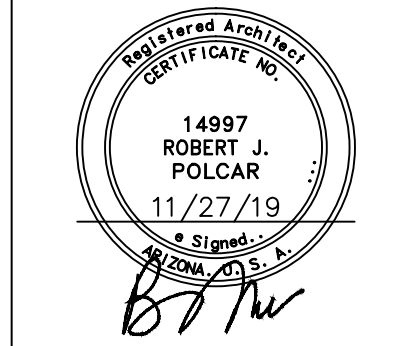


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SCOTTSDALE, ARIZONA



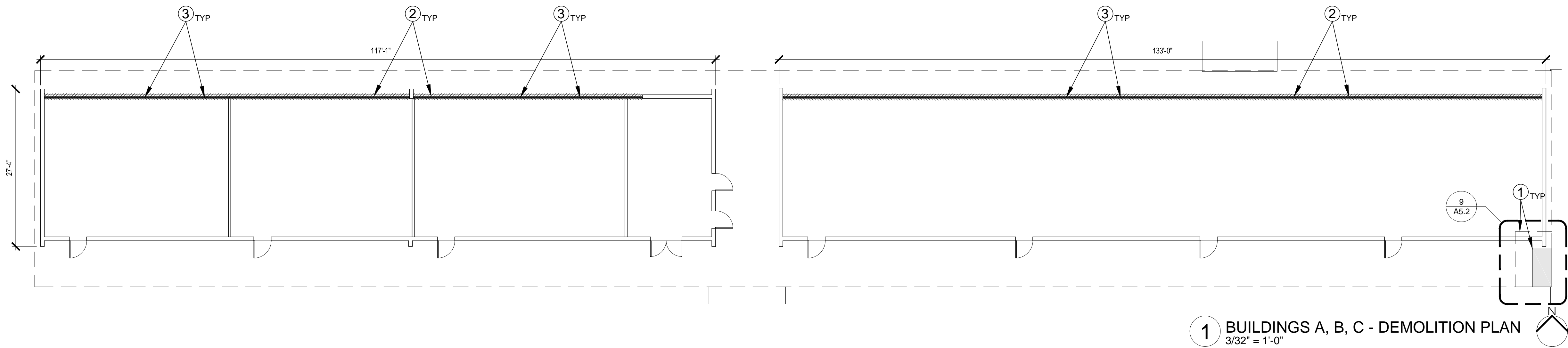
2942 N. 25th STREET, STE 114-436
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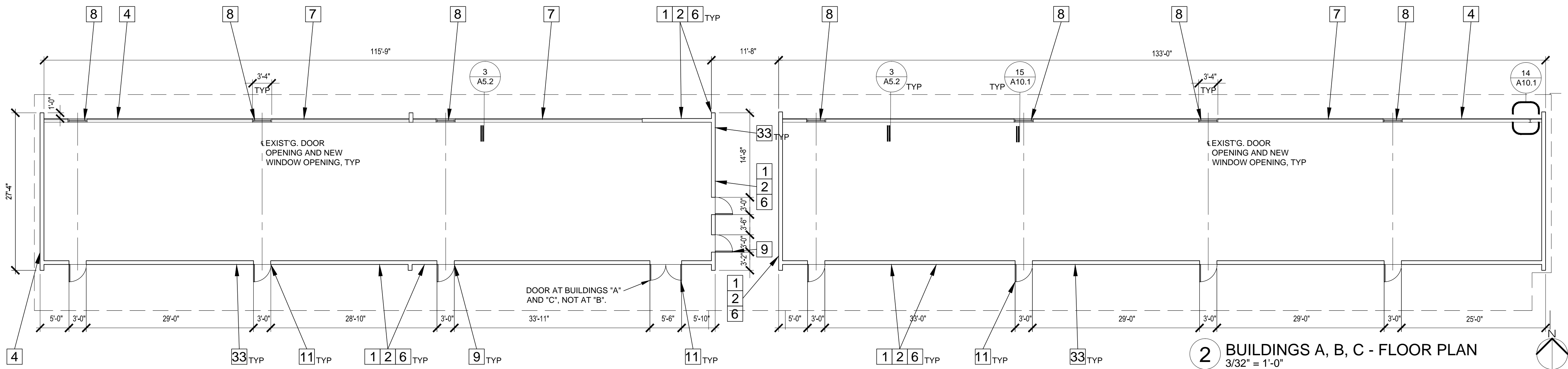


Revision	Revision Date
Project number	110411103-9999-008-BRG
Date	11/27/2019
Drawn by	KS
Checked by	BP
Sheet Size	ARCH D 24"x36"

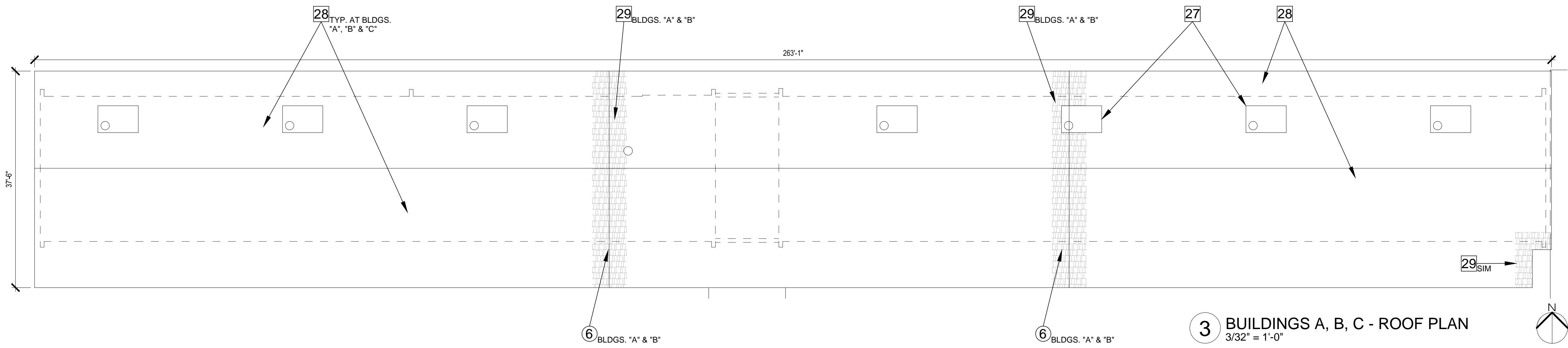
A0
PROJECT
INFORMATION



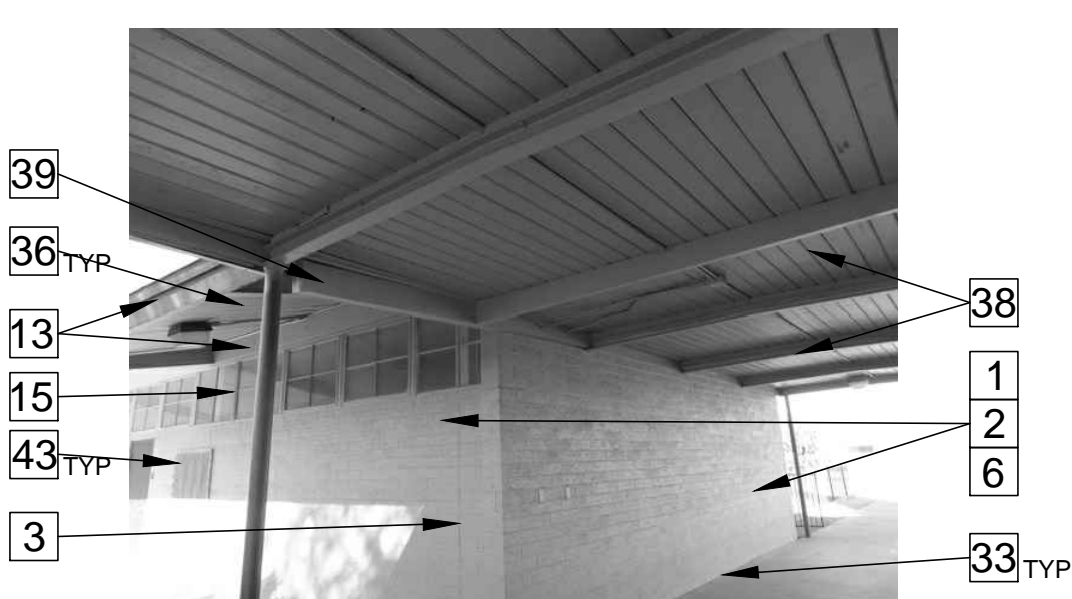
1 BUILDINGS A, B, C - DEMOLITION PLAN
3/32" = 1'-0"



2 BUILDINGS A, B, C - FLOOR PLAN
3/32" = 1'-0"



3 BUILDINGS A, B, C - ROOF PLAN
3/32" = 1'-0"



4 BUILDING "A" SOUTHEAST



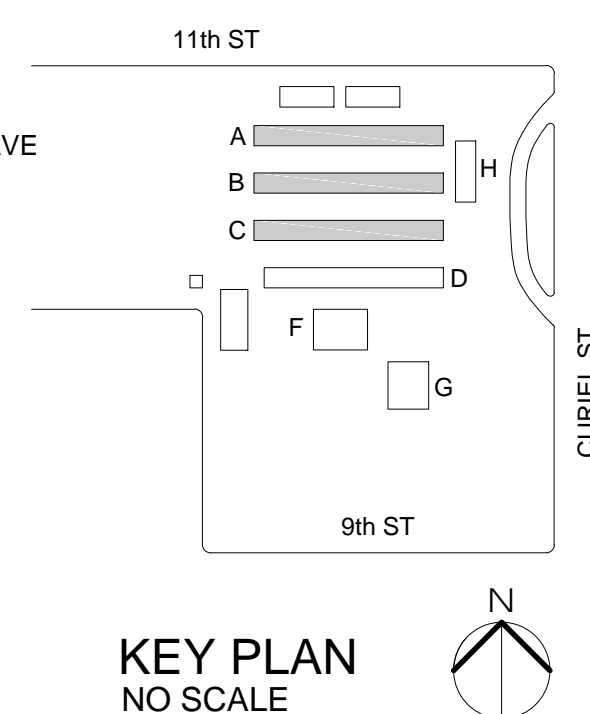
5 BUILDING "A" NORTHEAST



6 BUILDING "A" NORTHWEST

DEMOLITION KEYNOTES

- CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
- REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
- REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
- REMOVE EXISTING WOOD DOOR AND FRAME.
- REMOVE EXISTING WOOD FASCIA.
- REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



KEYNOTES

- CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
- CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
- EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
- EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3' BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION, RE-GRADE SOIL TO ORIGINAL GRADE, PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
- EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
- EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
- PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH R-19 FIBERGLASS BATTS.
- PROVIDE NEW STOREFRONT WINDOW, WITH SAFETY GLASS AT INDOOR AND OUTDOOR LITES. TYPICAL AT NEW WALL INFILL AT EACH CLASSROOM.
- EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS, CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
- EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS. REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
- EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
- PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
- METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING, CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
- EXISTING STEEL SASH WINDOW TO REMAIN, CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
- EXISTING WINDOW LITE; REMOVE GLAZING AND REGLAZE WITH SAFETY GLASS, ANSI Z97.1 CLASS B.
- EXISTING PARAPET; PROVIDE NEW WOOD NAILER. INSTALL NEW CONTINUOUS SELF ADHERED, HIGH TEMPERATURE, BITUMINOUS MEMBRANE FLASHING. INSTALL NEW METAL COPING SYSTEM. SEE DETAIL 9/ A10.2. SEE SPECIFICATION.
- EXISTING THROUGH WALL SCUPPER; TO REMAIN. INSPECT, CLEAN AND REPAIR. FLASH IN NEW PRE-MANUFACTURED BOOT PER ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS. TYPICAL FOR ALL SCUPPERS.
- EXISTING BUILT-UP ROOF; REMOVE ALL ROOFING MATERIALS TO DECK, INCLUDING INSULATION, FLASHING AND TRIM. REGLET TO REMAIN. INSPECT AND REPAIR DECK AS NECESSARY. FASTEN NEW 1" THICK RIGID BOARD INSULATION AND 1/4" THICK GYPSUM COVER BOARD TO DECK. INSTALL NEW FULLY ADHERED 60 MIL PVC ROOFING SYSTEM.
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- FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
- EXISTING COUNTER FLASHING; INSPECT AND REPLACE DAMAGED OR MISSING COUNTER FLASHING. EXISTING REGLET CAN BE REUSED. REMOVE SEALANT FROM EXISTING JOINT AND INSTALL NEW. PREP AND PAINT ALL. TYPICAL.
- PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
- PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
- EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
- EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRADES PERSON TO INSPECT AND REPAIR, RELOCATE OR EXTEND AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
- EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BUILDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ALL SHINGLES, ACCESSORIES AND TRIM TO WOOD SUBSTRATE. INSPECT SUBSTRATE AND REPAIR AS REQUIRED.
- INSTALL NEW FIBERGLASS REINFORCED SHINGLE ROOF SYSTEM, INCLUDING RIDGE VENT, ACCESSORIES AND METAL TRIM. PREP, PRIME AND PAINT TRIM. SEE DETAILS ON SHEET A10.2.
- INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
- EXISTING BUILDING/ SIDEWALK JOINT MATERIAL; REMOVE, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING JOINT MATERIAL AS SPECIFIED.
- CONSTRUCT NEW VENTED GYPSUM SOFFIT.
- INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
- CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT ALL EXTERIOR EAVES, SOFFITS AND CEILINGS.
- PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQMNTS.
- METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
- METAL CANOPY; PROVIDE NEW STEEL CANOPY EDGE FRAMING AS INDICATED. ATTACH TO EXISTING COLUMN AND TO EXISTING MASONRY WALL TO SUPPORT CANOPY ROOF DECK. PREP, PRIME AND PAINT.
- PROVIDE NEW SHEET METAL TRIM TO MATCH EXISTING, ADJACENT TRIM. PREP, PRIME AND PAINT.
- PROVIDE NEW STEEL CHANNEL EAVE EDGE FRAMING TO SUPPORT ROOF DECK. MATCH EXISTING EAVE EDGE FRAMING. PREP, PRIME AND PAINT.
- PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB, PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
- EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS. CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
- EXISTING WOOD SURFACE; PREPARE, REPAIR, SPOT PRIME AND PAINT.
- EXISTING TO REMAIN.
- APPROPRIATE TRADES PERSON TO REMOVE AND REINSTALL, MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, DATA, TELEPHONE, ANTENNAE, SOUND OR LIGHTING FACILITIES FOUND TO OBSTRUCT THE WORK OF THIS PROJECT, TYPICAL.
- EXISTING WOOD TRIM; REMOVE AND INSTALL NEW. PREP, PRIME & PAINT.

RPA

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SCOTTSDALE, ARIZONA

RedTree
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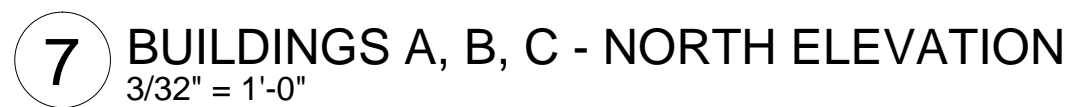
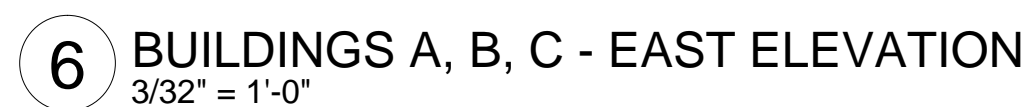
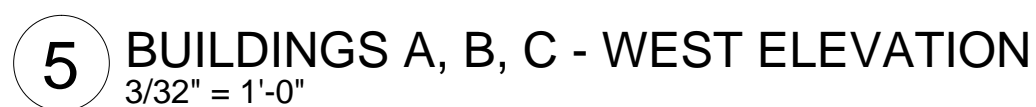
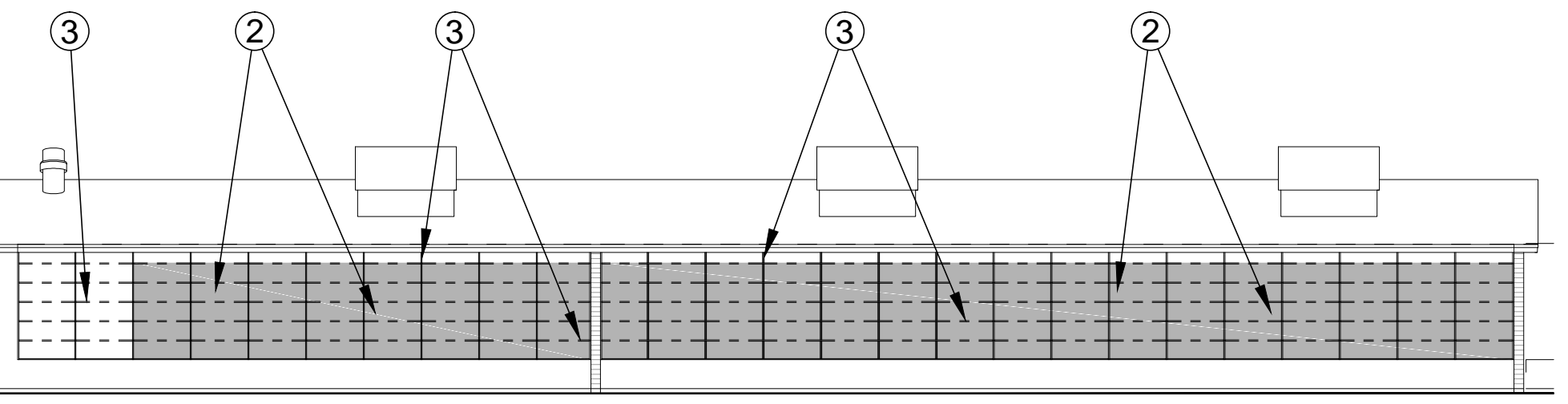
ELOY ELEMENTARY SCHOOL DISTRICT #11
CAMPUS ROOF RESTORATIONS AND WEATHERIZATIONS
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1000 NORTH CURIEL STREET
ELOY, ARIZONA 85131

Seal of the State of Arizona
Professional Engineer
14997
ROBERT J. POLCAR
11/27/19
Signature

Revision	Revision Date
Project number	110411103-9999-008-BRG
Date	11/27/2019
Drawn by	KS
Checked by	BP
Sheet Size	ARCH D 24"x36"

A1.1

BUILDINGS A,B,C

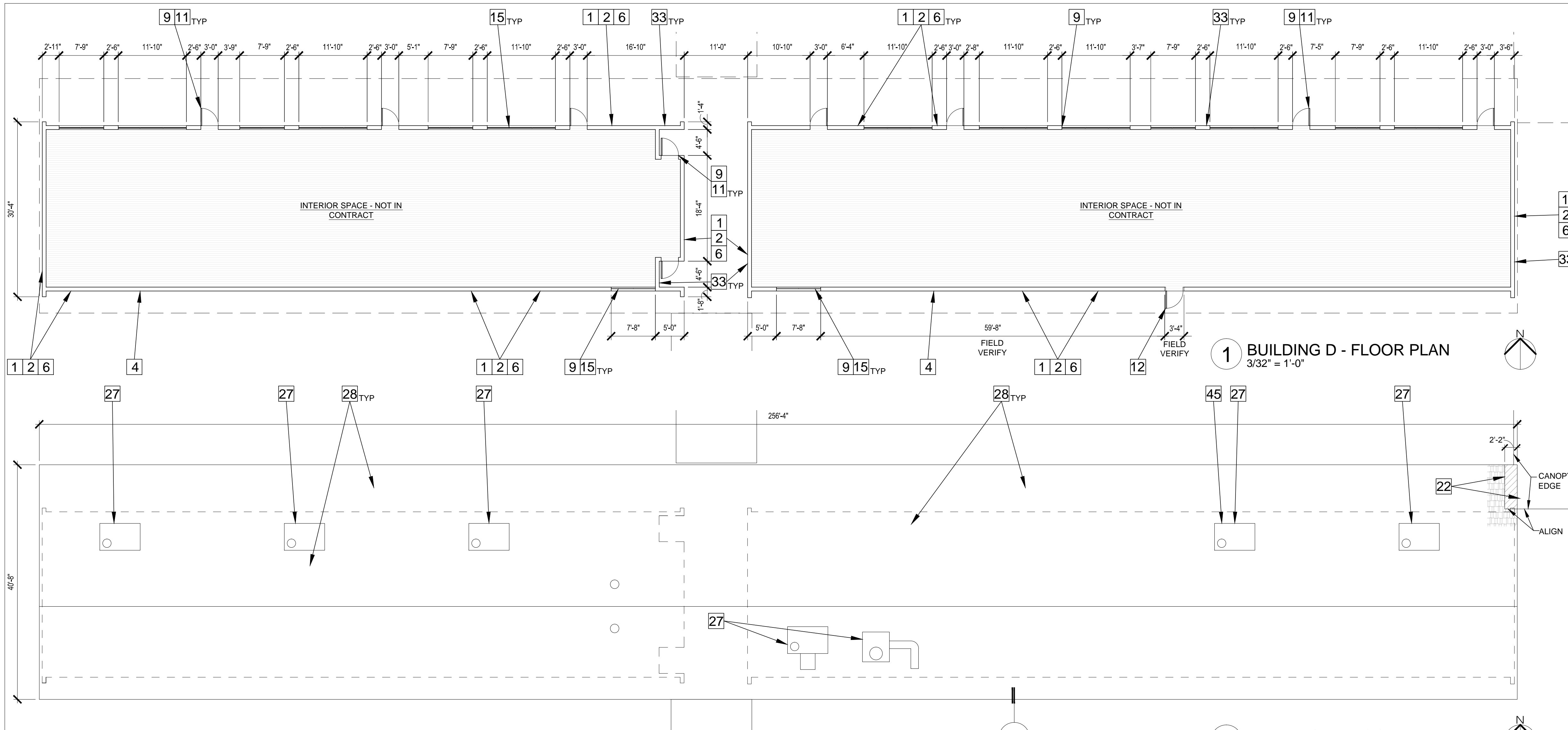


1. CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
2. REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
3. REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
4. REMOVE EXISTING WOOD DOOR AND FRAME.
5. REMOVE EXISTING WOOD FASCIA..
6. REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



1. CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
2. CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
3. EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
4. EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3" BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION. RE-GRADE SOIL TO ORIGINAL GRADE, PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
5. EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
6. EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
7. PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH R-19 FIBERGLASS BATT.
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12. PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
13. METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
14. EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING, CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
15. EXISTING STEEL SASH WINDOW TO REMAIN; CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
16. EXISTING WINDOW LITE; REMOVE GLAZING AND REGLAZE WITH SAFETY GLASS, ANSI Z97.1 CLASS B.
17. EXISTING PARAPET; PROVIDE NEW WOOD NAILER. INSTALL NEW CONCRETE SLAB ON TOP OF ADHERED, HIGH TEMPERATURE, BITUMINOUS MEMBRANE FLASHING. INSTALL NEW METAL COPING SYSTEM. SEE DETAIL 9. X/A10.2. SEE SPECIFICATION.
18. EXISTING THROUGH WALL SCUPPER; TO REMAIN, INSPECT, CLEAN AND REPAIR. FLASH IN NEW PRE-MANUFACTURED BOOT PER ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS, TYPICAL FOR ALL SCUPPERS.
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21. PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
22. FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
23. EXISTING COUNTER FLASHING; INSPECT AND REPLACE DAMAGED OR MISSING COUNTER FLASHING. EXISTING REGLET CAN BE REUSED. REMOVE SEALANT FROM EXISTING JOINT AND INSTALL NEW. PREP AND PAINT ALL, TYPICAL.
24. PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
25. PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
26. EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
27. EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRADES PERSON TO INSPECT AND REPAIR, RELOCATE OR EXTEND AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
28. EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
29. EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BUILDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
30. EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ALL SHINGLES, ACCESSORIES AND TRIM TO WOOD SUBSTRATE. INSPECT SUBSTRATE AND REPAIR AS REQUIRED.
31. PROVIDE NEW FIBERGLASS REINFORCED SHINGLE ROOF SYSTEM, INCLUDING RIDGE VENT, ACCESSORIES AND METAL TRIM. PREP, PRIME AND PAINT TRIM. SEE DETAILS ON SHEET A/10.2.
32. INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
33. EXISTING BUILDING/ SIDEWALK JOINT MATERIAL; REMOVE, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING JOINT MATERIAL AS SPECIFIED.
34. CONSTRUCT NEW VENTED GYPSUM SOFFIT.
35. INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
36. CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT ALL EXTERIOR EAVES, SOFFITS AND CEILINGS.
37. PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQ'MENTS.
38. METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
39. METAL CANOPY; PROVIDE NEW STEEL CANOPY EAVE FRAMING AS INDICATED. ATTACH TO EXISTING COLUMN AND TO EXISTING MASONRY WALL TO SUPPORT CANOPY ROOF DECK. PREP, PRIME AND PAINT.
40. PROVIDE NEW SHEET METAL TRIM TO MATCH EXISTING, ADJACENT TRIM. PREP, PRIME AND PAINT.
41. PROVIDE NEW STEEL CHANNEL EAVE EIDGE FRAMING TO SUPPORT ROOF DECK. MATCH EXISTING EAVE EIDGE FRAMING. PREP, PRIME AND PAINT.
42. PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB. PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
43. EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS, CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
44. EXISTING WOOD SURFACE; PREPARE, REPAIR, SPOT PRIME AND PAINT.
45. EXISTING TO REMAIN.
46. APPROPRIATE TRADES PERSON TO REMOVE AND REINSTALL, MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, DATA, TELEPHONE, ANTENNAE, SOUND OR LIGHTING FACILITIES FOUND TO OBSTRUCT THE WORK OF THIS PROJECT, TYPICAL.
47. EXISTING WOOD TRIM; REMOVE AND INSTALL NEW. PREP, PRIME & PAINT.





KEYNOTES

- CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
- CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
- EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
- EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3" BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION, RE-GRADE SOIL TO ORIGINAL GRADE, PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
- EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
- EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
- PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH R-19 FIBERGLASS BATTS.
- PROVIDE NEW STOREFRONT WINDOW, WITH SAFETY GLASS AT INDOOR AND OUTDOOR LITES. TYPICAL AT NEW WALL INFILL AT EACH CLASSROOM.
- EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS, CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
- EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS. REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
- EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
- PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
- METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING, CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
- EXISTING STEEL SASH WINDOW TO REMAIN; CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
- EXISTING WINDOW LITE; REMOVE GLAZING AND REGLAZE WITH SAFETY GLASS, ANSI Z97.1 CLASS B.
- EXISTING PARAPET; PROVIDE NEW WOOD NAILER. INSTALL NEW CONTINUOUS SELF ADHERED, HIGH TEMPERATURE, BITUMINOUS MEMBRANE FLASHING. INSTALL NEW METAL COPING SYSTEM. SEE DETAIL 9/A10.2. SEE SPECIFICATION.
- EXISTING THROUGH WALL SCUPPER; TO REMAIN. INSPECT, CLEAN AND REPAIR. FLASH IN NEW PRE-MANUFACTURED BOOT PER ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS. TYPICAL FOR ALL SCUPPERS.
- EXISTING BUILT-UP ROOF; REMOVE ALL ROOFING MATERIALS TO DECK, INCLUDING INSULATION, FLASHING AND TRIM. REGLET TO REMAIN. INSPECT AND REPAIR DECK AS NECESSARY. FASTEN NEW 1" THICK RIGID BOARD INSULATION AND 1/4" THICK GYPSUM COVER BOARD TO DECK. INSTALL NEW FULLY ADHERED 60 MIL PVC ROOFING SYSTEM.
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- PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
- FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
- EXISTING COUNTER FLASHING; INSPECT AND REPLACE DAMAGED OR MISSING COUNTER FLASHING. EXISTING REGLET CAN BE REUSED. REMOVE SEALANT FROM EXISTING JOINT AND INSTALL NEW. PREP AND PAINT ALL. TYPICAL.
- PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
- PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
- EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
- EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRADES PERSON TO INSPECT AND REPAIR, RELOCATE OR EXTEND AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
- EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BULDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
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- PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB, PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
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- EXISTING WOOD TRIM; REMOVE AND INSTALL NEW. PREP, PRIME & PAINT.

2 BUILDING D - ROOF PLAN 3/32" = 1'-0"

8
A5.2



3 BUILDING "D" SOUTH



4 BUILDING "D" WEST



5 BUILDING "D" EAST



6 BUILDING "D" ROOF



7 BUILDING "D" SOUTH



8 BUILDING "D" SOUTHEAST



9 BUILDING "D" NORTH



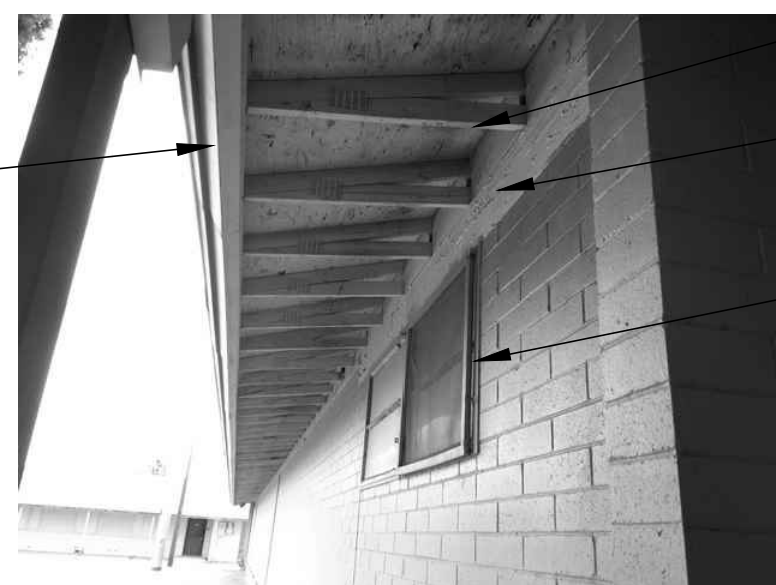
10 BUILDING "D" SOUTHEAST



11 BUILDING "D" ROOF



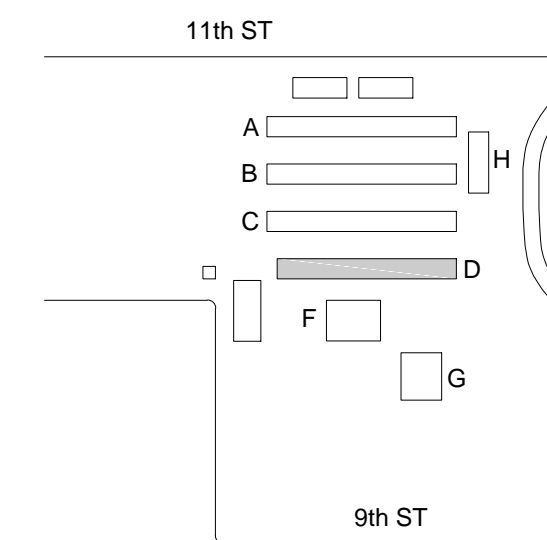
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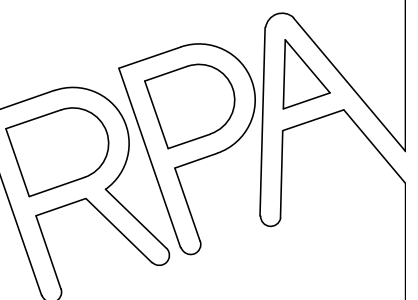
13 BUILDING "D" SOUTHEAST

DEMOLITION KEYNOTES

- CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
- REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
- REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
- REMOVE EXISTING WOOD DOOR AND FRAME.
- REMOVE EXISTING WOOD FASCIA.
- REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



KEY PLAN
NO SCALE

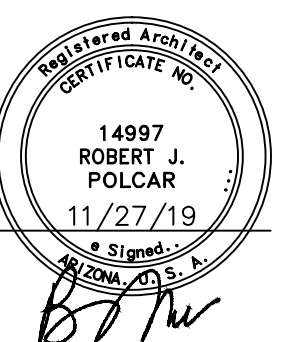


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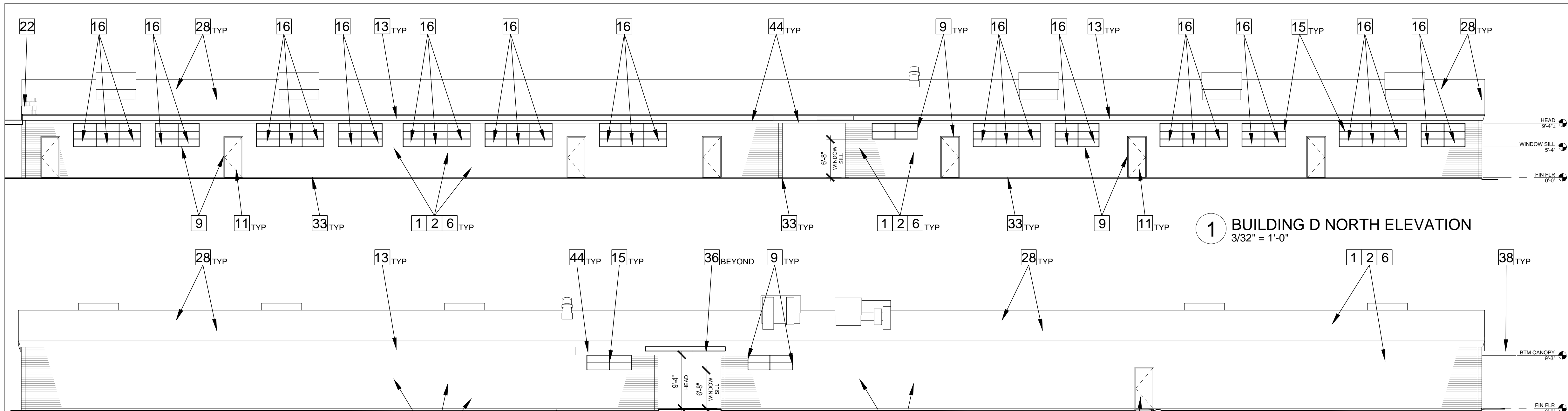
ELOY ELEMENTARY SCHOOL DISTRICT #11
CAMPUS ROOF RESTORATIONS AND WEATHERIZATIONS
CURIEL PRIMARY SCHOOL
1000 NORTH CURIEL STREET
ELOY, ARIZONA 85131



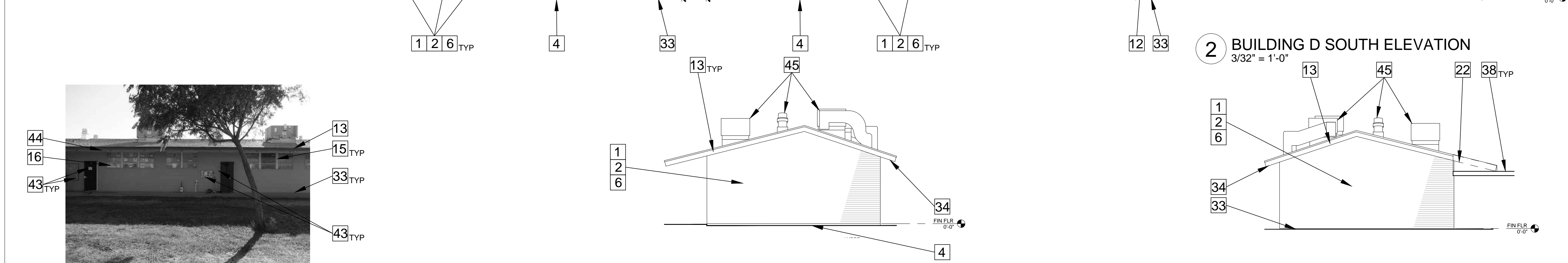
Revision	Revision Date
Project number	110411103-9999-008-BRG
Date	11/27/2019
Drawn by	KS
Checked by	BP
Sheet Size	ARCH D 24"x36"

A2.1

BUILDING D



1 BUILDING D NORTH ELEVATION
3/32\" = 1'-0"

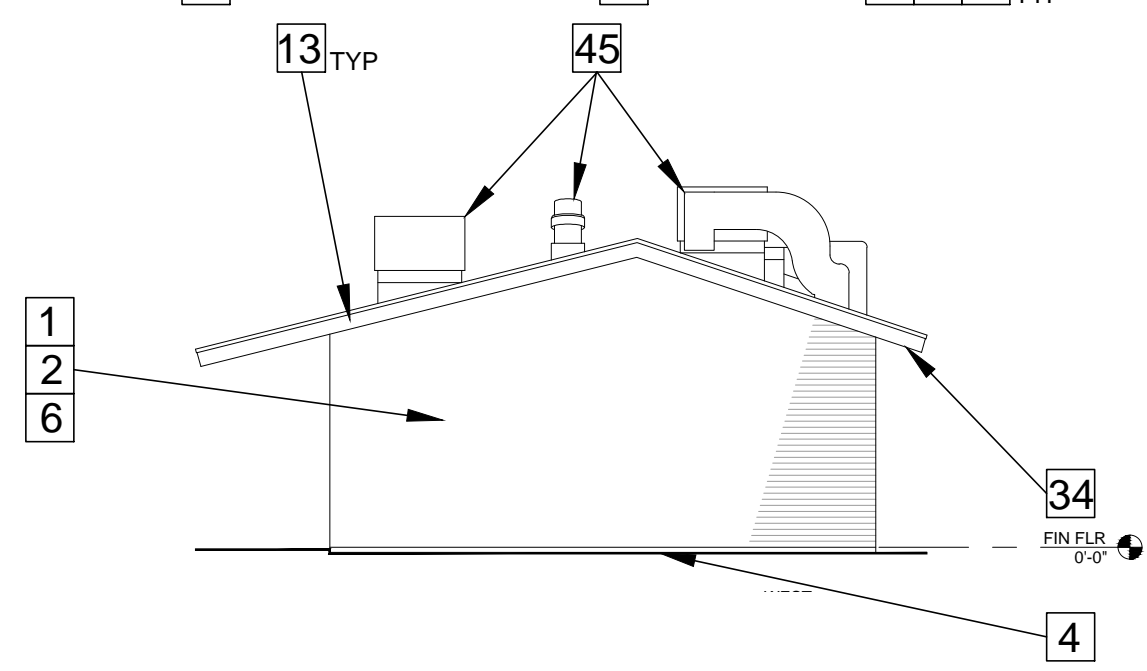


2 BUILDING D SOUTH ELEVATION
3/32\" = 1'-0"

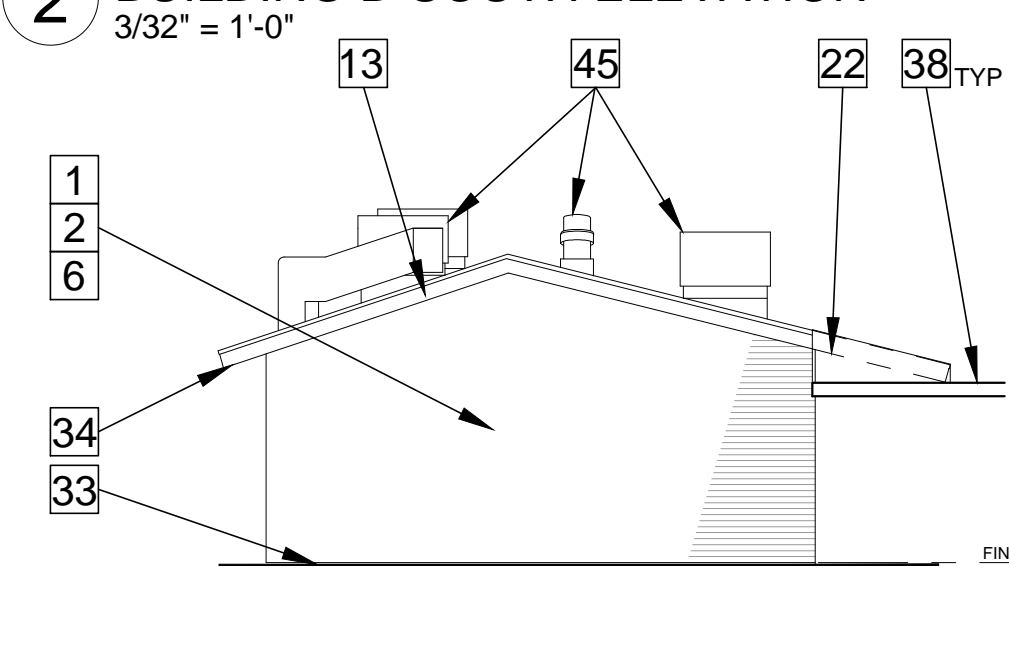


3 BUILDING "D" NORTH

4 BUILDING D WEST ELEVATION
3/32\" = 1'-0"



5 BUILDING D EAST ELEVATION
3/32\" = 1'-0"



6 BUILDING "A" NORTH



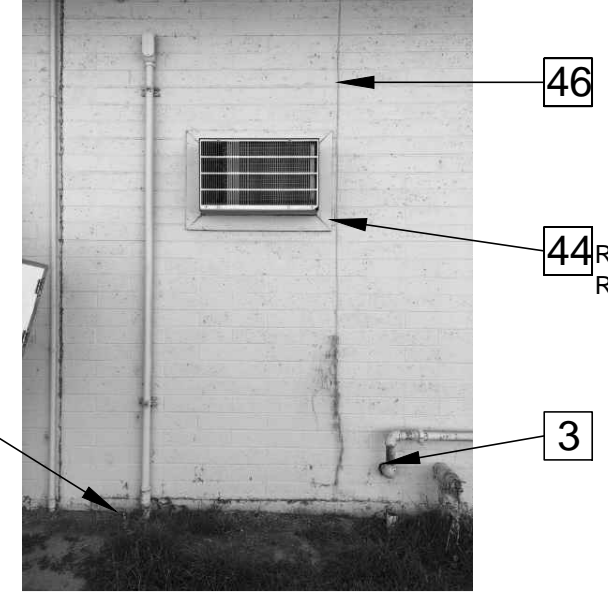
7 BUILDING "A" SOUTH



8 BUILDING "A" SOUTH



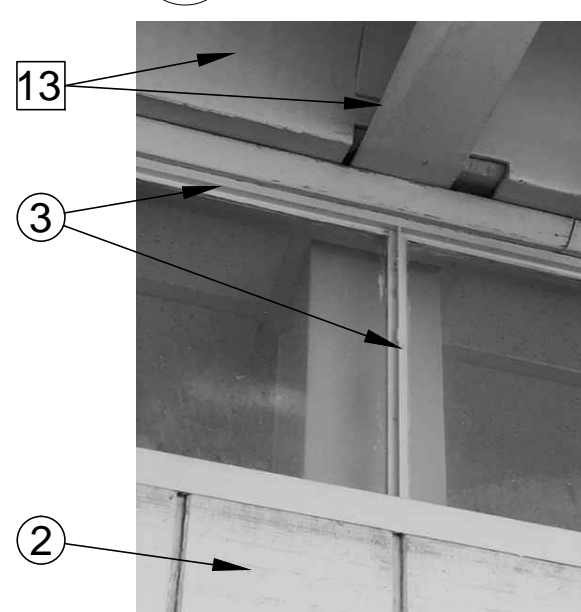
9 BUILDING "A" SOUTH



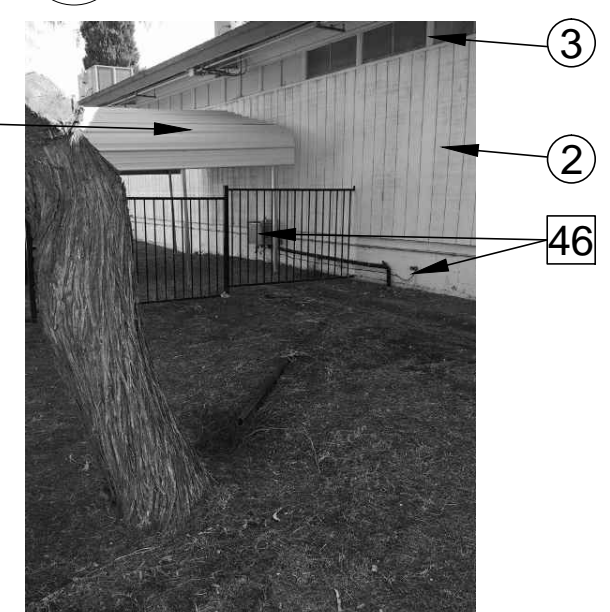
10 BUILDING "A" NORTH



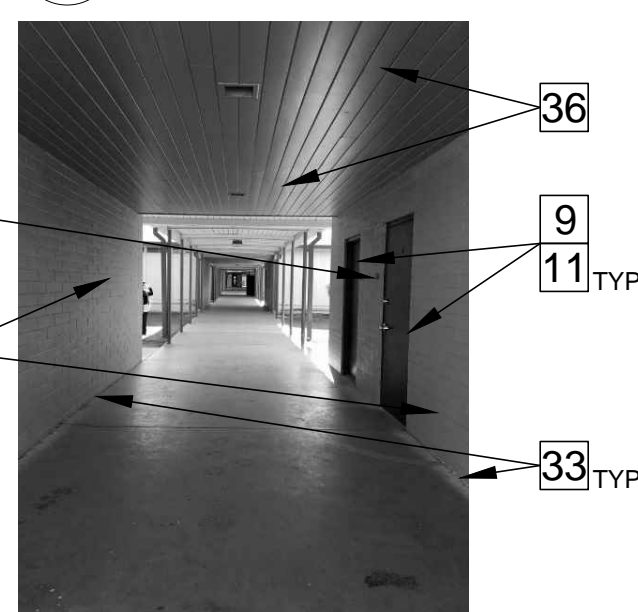
11 BUILDING "A" NORTH



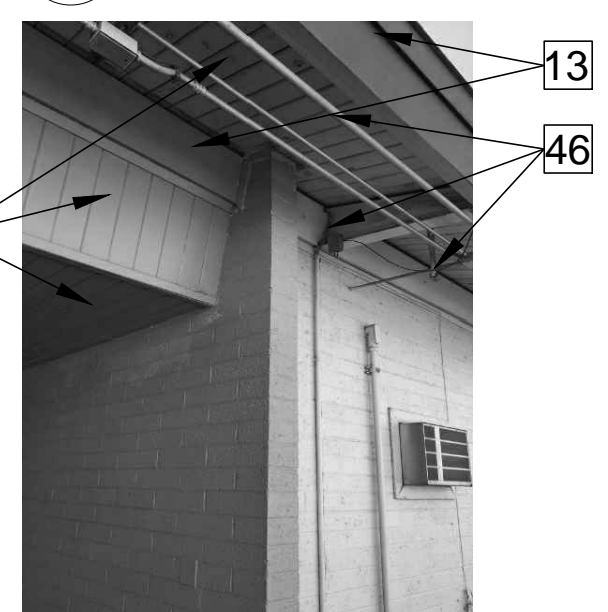
12 BUILDING "A" NORTH



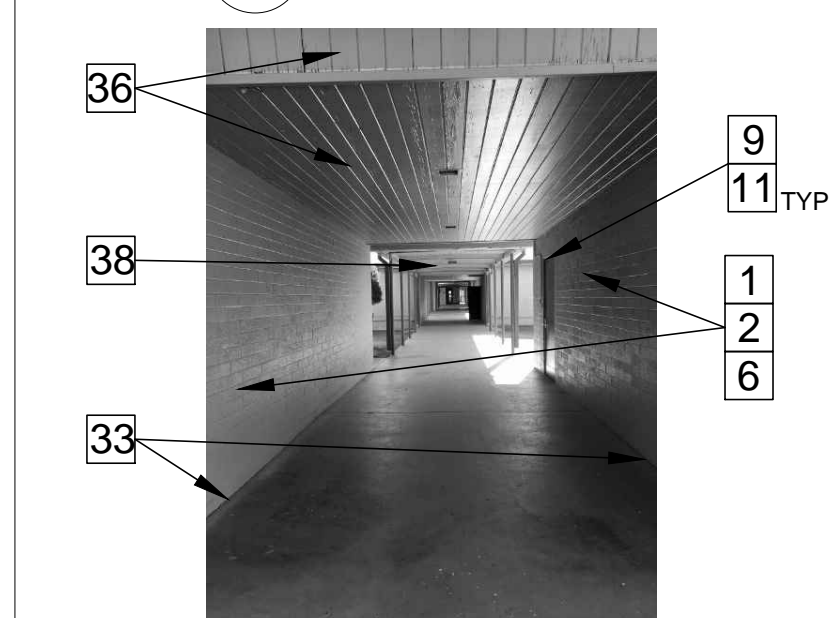
13 BUILDING "A" NORTH



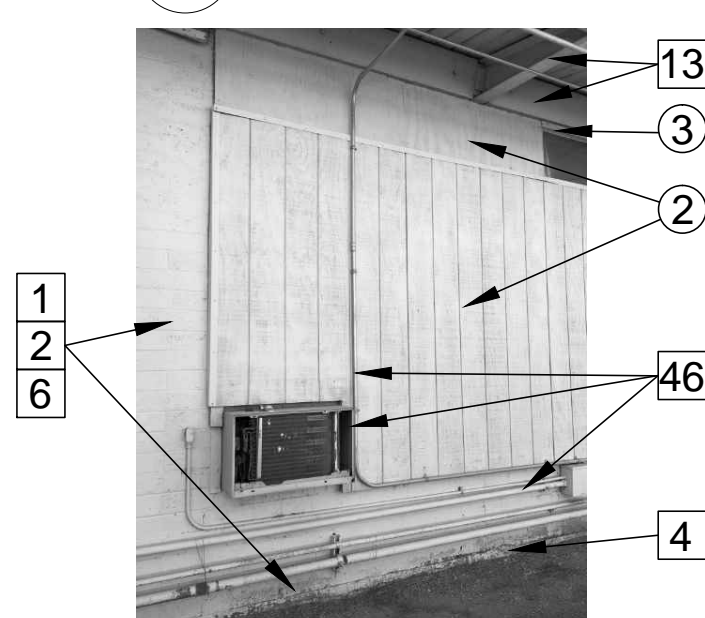
14 BUILDING "A" NORTH - BREEZE WAY



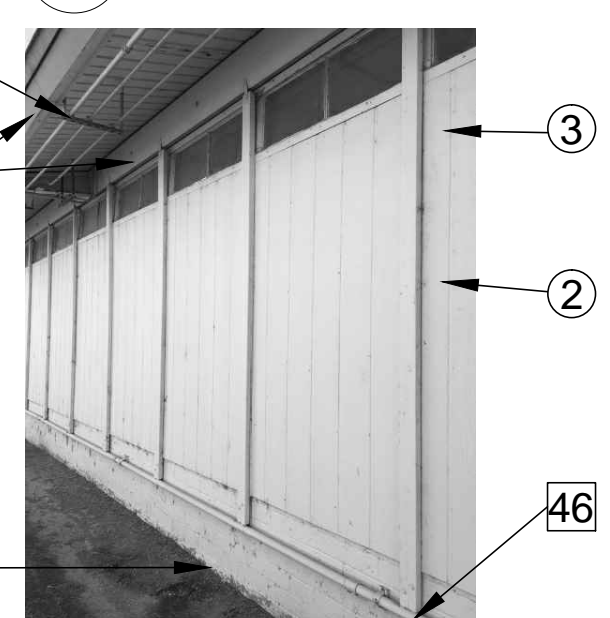
15 BUILDING "A" NORTH - BREEZE WAY



16 BUILDING "B" NORTH - BREEZE WAY



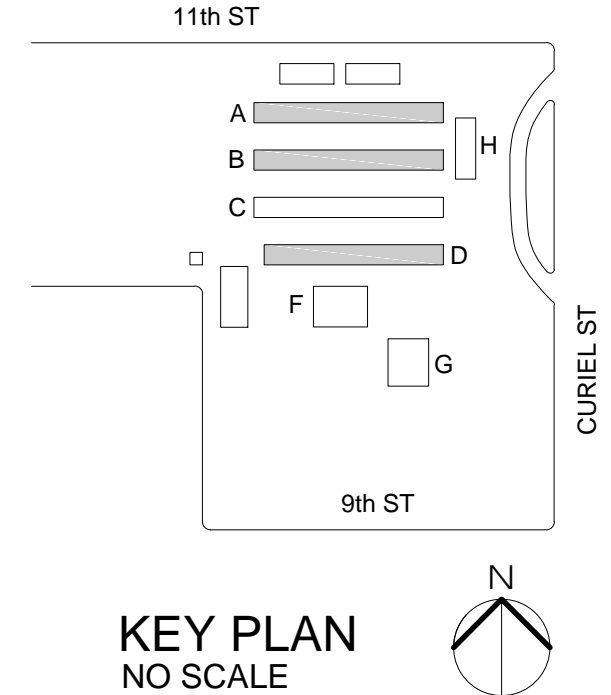
17 BUILDING "B" NORTH



18 BUILDING "B" NORTH

DEMOLITION KEYNOTES

1. CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
2. REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
3. REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
4. REMOVE EXISTING WOOD DOOR AND FRAME.
5. REMOVE EXISTING WOOD FASCIA.
6. REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



KEY PLAN
NO SCALE

KEYNOTES

1. CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
2. CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
3. EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
4. EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3' BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION. RE-GRADE SOIL TO ORIGINAL GRADE. PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
5. EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
6. EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
7. PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH R-19 FIBERGLASS BATTS.
8. PROVIDE NEW STOREFRONT WINDOW, WITH SAFETY GLASS AT INDOOR AND OUTDOOR LITES. TYPICAL AT NEW WALL INFILL AT EACH CLASSROOM.
9. EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS. CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
10. EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS. REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
11. EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
12. PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
13. METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
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15. EXISTING STEEL SASH WINDOW TO REMAIN; CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
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21. PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
22. FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
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24. PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
25. PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
26. EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
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34. CONSTRUCT NEW VENTED GYPSUM SOFFIT.
35. INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
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37. PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQ.MNTS.
38. METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
39. METAL CANOPY; PROVIDE NEW STEEL CANOPY EDGE FRAMING AS INDICATED. ATTACH TO EXISTING COLUMN AND TO EXISTING MASONRY WALL TO SUPPORT CANOPY ROOF DECK. PREP, PRIME AND PAINT.
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42. PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB. PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
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44. EXISTING WOOD SURFACE; PREPARE, REPAIR, SPOT PRIME AND PAINT.
45. EXISTING TO REMAIN.
46. APPROPRIATE TRADES PERSON TO REMOVE AND REINSTALL, MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, DATA, TELEPHONE, ANTENNAE, SOUND OR LIGHTING FACILITIES FOUND TO OBSTRUCT THE WORK OF THIS PROJECT. TYPICAL.
47. EXISTING WOOD TRIM; REMOVE AND INSTALL NEW. PREP, PRIME & PAINT.

RPA

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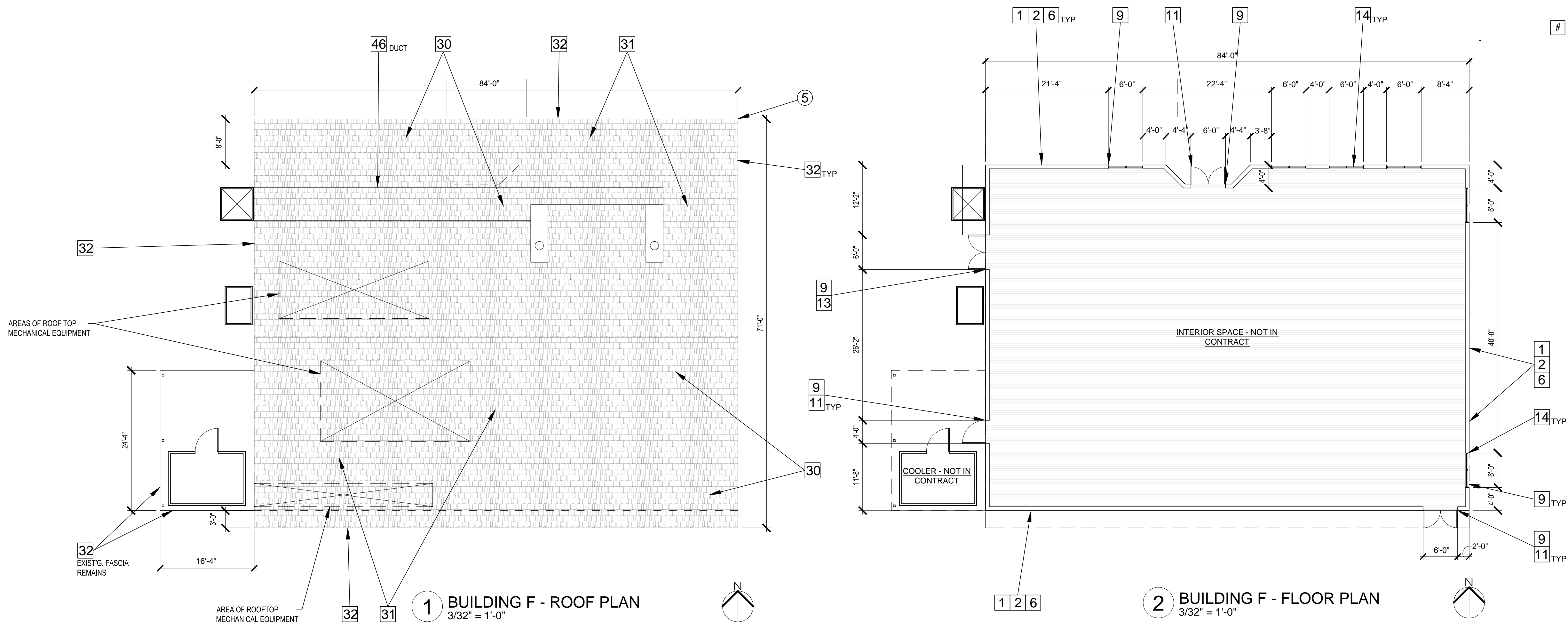
ELOY ELEMENTARY SCHOOL DISTRICT #11
CAMPUS ROOF RESTORATIONS AND WEATHERIZATIONS
CURIEL PRIMARY SCHOOL
1000 NORTH CURIEL STREET
ELOY, ARIZONA 85131

Seal of the State of Arizona
Professional Architect
Certificate No.
14997
ROBERT J. POLCAR
11/27/19
Signed
R. J. Polcar

Revision	Revision Date
Project number	110411103-9999-008-BRG
Date	11/27/2019
Drawn by	KS
Checked by	BP
Sheet Size	ARCH D 24"x36"

A2.2

BUILDING D

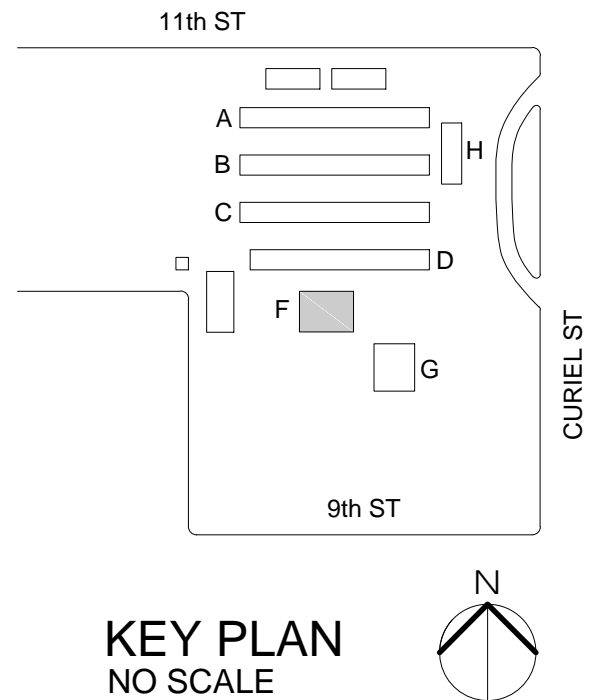


KEYNOTES

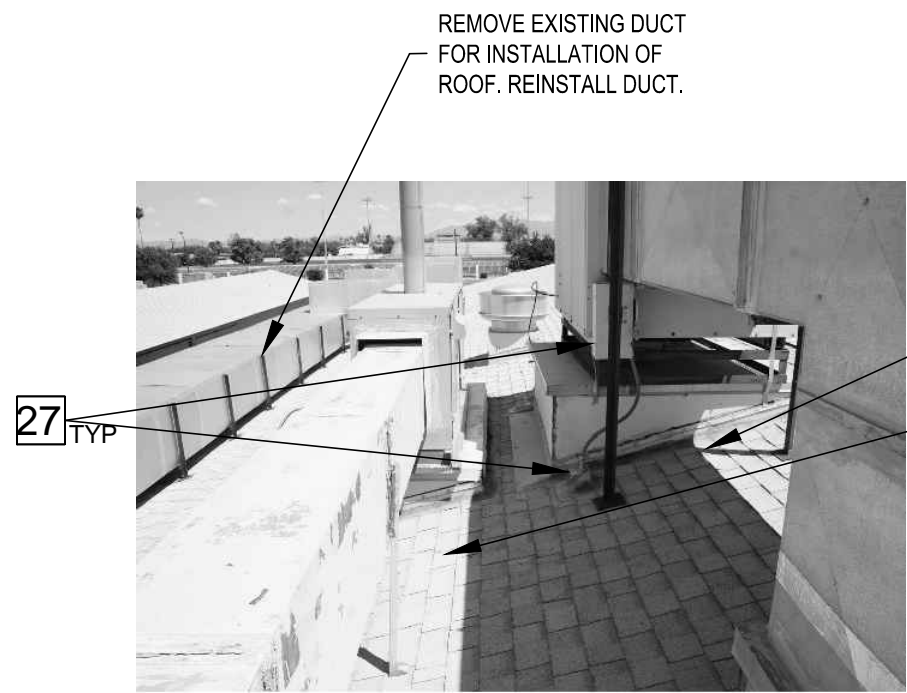
- CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
- CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
- EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
- EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3" BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION. RE-GRADE SOIL TO ORIGINAL GRADE. PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
- EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
- EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
- PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH R-19 FIBERGLASS BATTS.
- PROVIDE NEW STOREFRONT WINDOW, WITH SAFETY GLASS AT INDOOR AND OUTDOOR LITES. TYPICAL AT NEW WALL INFILL AT EACH CLASSROOM.
- EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS. CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
- EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS. REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
- EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
- PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
- METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING, CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
- EXISTING STEEL SASH WINDOW TO REMAIN; CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
- EXISTING WINDOW LITE; REMOVE GLAZING AND REGLAZE WITH SAFETY GLASS, ANSI Z97.1 CLASS B.
- EXISTING PARAPET; PROVIDE NEW WOOD NAILER. INSTALL NEW CONTINUOUS SELF ADHERED, HIGH TEMPERATURE, BITUMINOUS MEMBRANE FLASHING. INSTALL NEW METAL COPING SYSTEM. SEE DETAIL 9/A10.2. SEE SPECIFICATION.
- EXISTING THROUGH WALL SCUPPER; TO REMAIN. INSPECT, CLEAN AND REPAIR. FLASH IN NEW PRE-MANUFACTURED BOOT PER ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS. TYPICAL FOR ALL SCUPPERS.
- EXISTING BUILT-UP ROOF; REMOVE ALL ROOFING MATERIALS TO DECK, INCLUDING INSULATION, FLASHING AND TRIM. REGLET TO REMAIN. INSPECT AND REPAIR DECK AS NECESSARY. FASTEN NEW 1" THICK RIGID BOARD INSULATION AND 1/4" THICK GYPSUM COVER BOARD TO DECK. INSTALL NEW FULLY ADHERED 60 MIL PVC ROOFING SYSTEM.
- EXISTING BUILT-UP ROOF; REMOVE ALL ROOFING MATERIALS TO DECK, INCLUDING FLASHING AND TRIM. INSPECT AND REPAIR DECK AS NECESSARY. FASTEN NEW 1/4" THICK GYPSUM COVER BOARD TO DECK. INSTALL NEW FULLY ADHERED 60 MIL PVC ROOFING SYSTEM. FLASH AND TERMINATE MEMBRANE TO EXISTING BUILDING WALLS AT CANOPY/ BUILDING INTERSECTION. TYPICAL AT CANOPIES.
- PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
- FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
- EXISTING COUNTER FLASHING; INSPECT AND REPLACE DAMAGED OR MISSING COUNTER FLASHING. EXISTING REGLET CAN BE REUSED. REMOVE SEALANT FROM EXISTING JOINT AND INSTALL NEW. PREP AND PAINT ALL. TYPICAL.
- PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
- PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
- EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
- EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRADES PERSON TO INSPECT AND REPAIR, RELOCATE OR EXTEND AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
- EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BULDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ALL SHINGLES. ACCESSORIES AND TRIM TO WOOD SUBSTRATE. INSPECT SUBSTRATE AND REPAIR AS REQUIRED.
- INSTALL NEW FIBERGLASS REINFORCED SHINGLE ROOF SYSTEM, INCLUDING RIDGE VENT, ACCESSORIES AND METAL TRIM. PREP, PRIME AND PAINT TRIM. SEE DETAILS ON SHEET A/10.2.
- INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
- EXISTING BUILDING/ SIDEWALK JOINT MATERIAL; REMOVE, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING JOINT MATERIAL AS SPECIFIED.
- CONSTRUCT NEW VENTED GYPSUM SOFFIT.
- INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
- CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT ALL EXTERIOR EAVES, SOFFITS AND CEILINGS.
- PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQ.MNTS.
- METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
- METAL CANOPY; PROVIDE NEW STEEL CANOPY EDGE FRAMING AS INDICATED. ATTACH TO EXISTING COLUMN AND TO EXISTING MASONRY WALL TO SUPPORT CANOPY ROOF DECK. PREP, PRIME AND PAINT.
- PROVIDE NEW SHEET METAL TRIM TO MATCH EXISTING, ADJACENT TRIM. PREP, PRIME AND PAINT.
- PROVIDE NEW STEEL CHANNEL EAVE FRAMING TO SUPPORT ROOF DECK. MATCH EXISTING EAVE EDGE FRAMING. PREP, PRIME AND PAINT.
- PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB. PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
- EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS. CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
- EXISTING WOOD SURFACE; PREPARE, REPAIR, SPOT PRIME AND PAINT.
- EXISTING TO REMAIN.
- APPROPRIATE TRADES PERSON TO REMOVE AND REINSTALL, MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, DATA, TELEPHONE, ANTENNAE, SOUND OR LIGHTING FACILITIES FOUND TO OBSTRUCT THE WORK OF THIS PROJECT. TYPICAL.
- EXISTING WOOD TRIM; REMOVE AND INSTALL NEW. PREP, PRIME & PAINT.

DEMOLITION KEYNOTES

- CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
- REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
- REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
- REMOVE EXISTING WOOD DOOR AND FRAME.
- REMOVE EXISTING WOOD FASCIA.
- REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



KEY PLAN
NO SCALE



3 BUILDING "F"



4 BUILDING "F" SOUTH



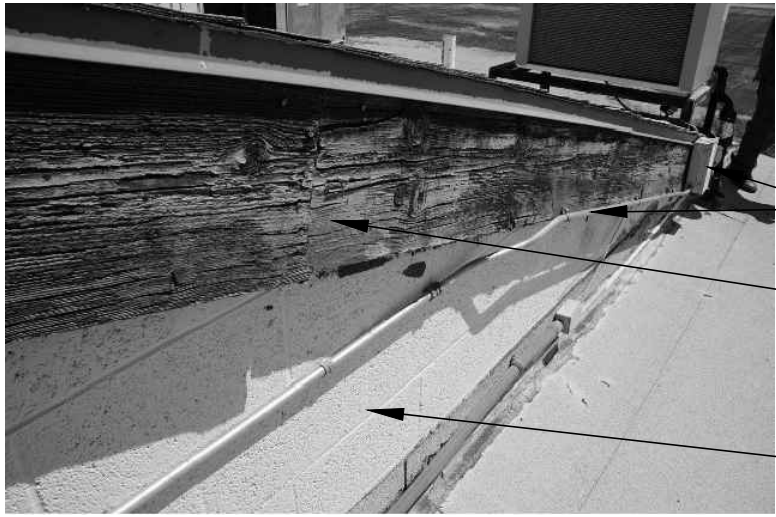
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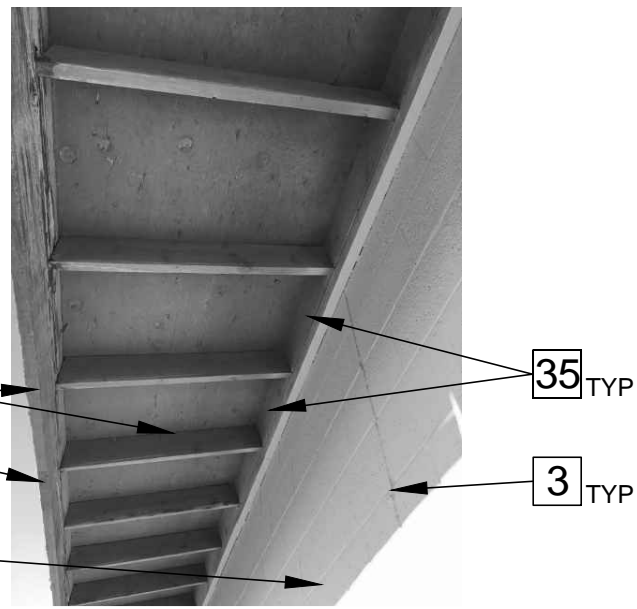
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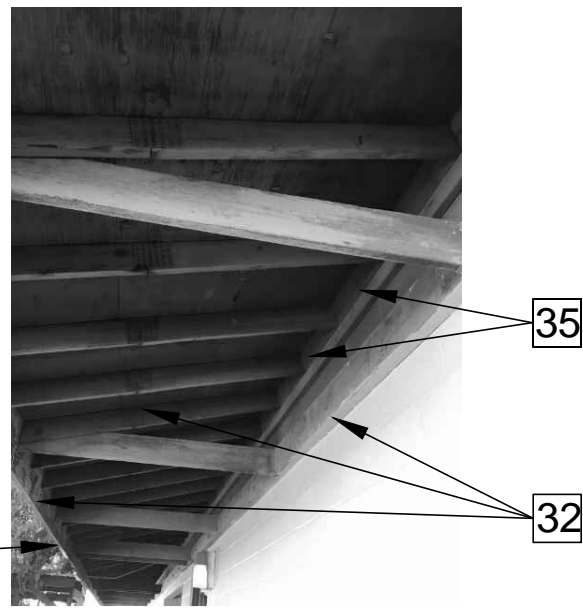
7 BUILDING "F"



8 BUILDING "F" WEST



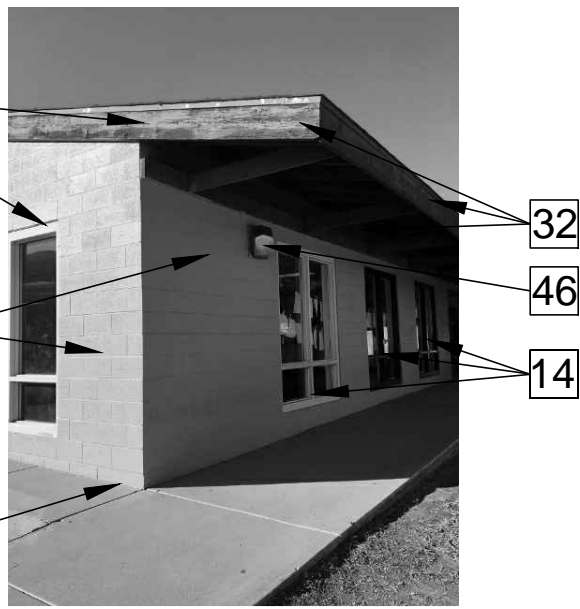
9 BUILDING "F" SOUTH



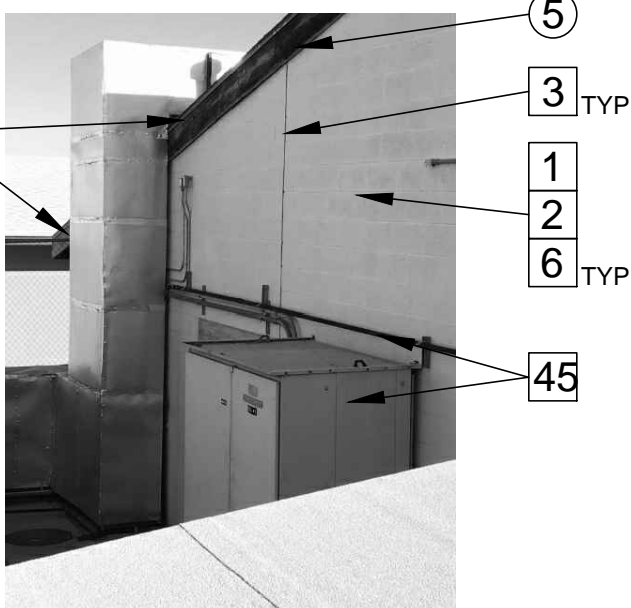
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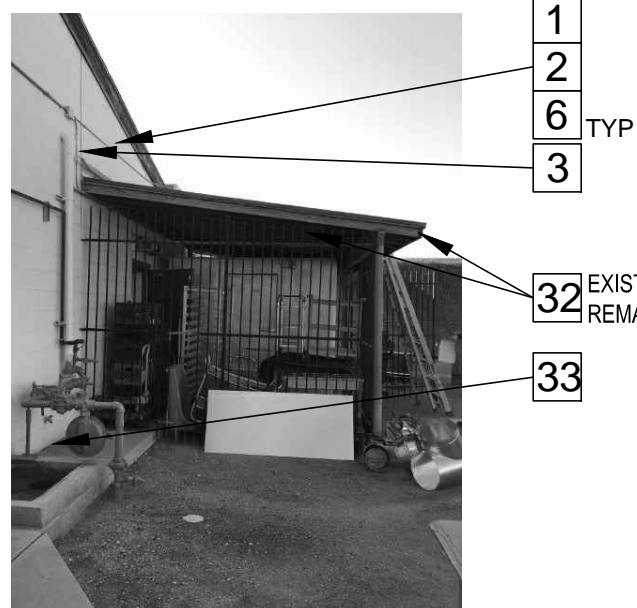
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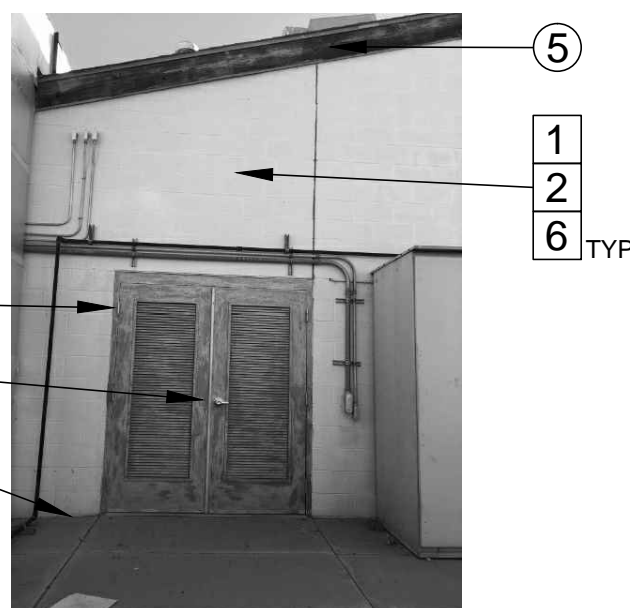
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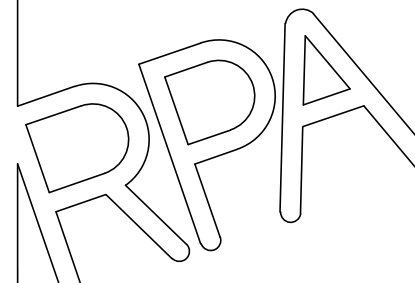
14 BUILDING "F" WEST



15 BUILDING "F" WEST



16 BUILDING "F" WEST

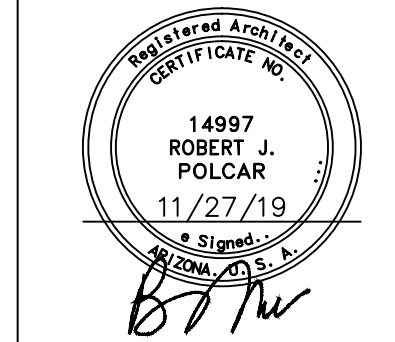


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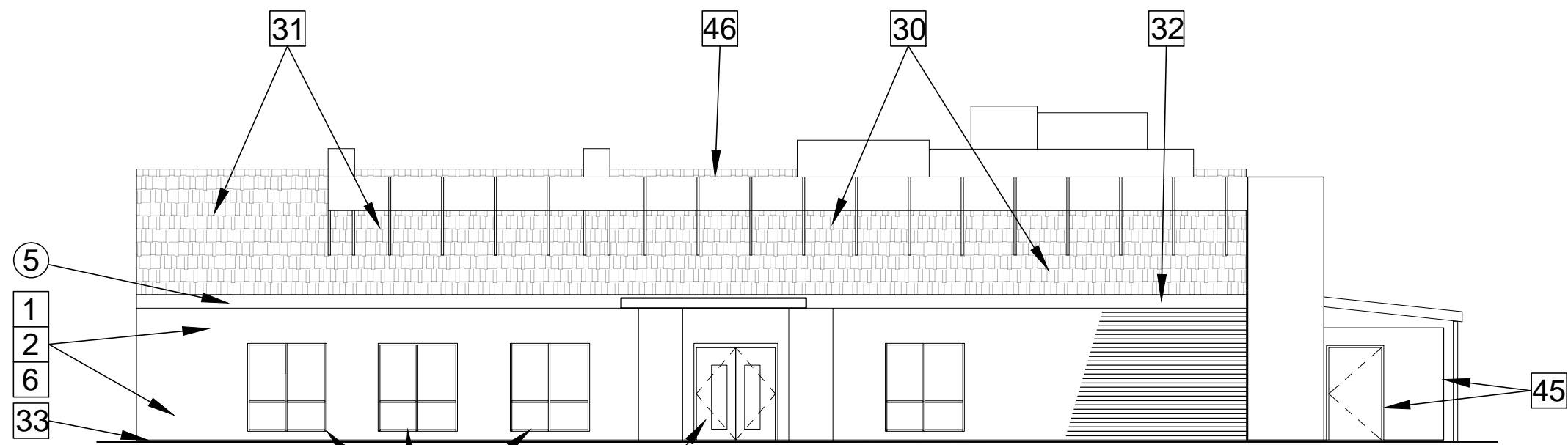
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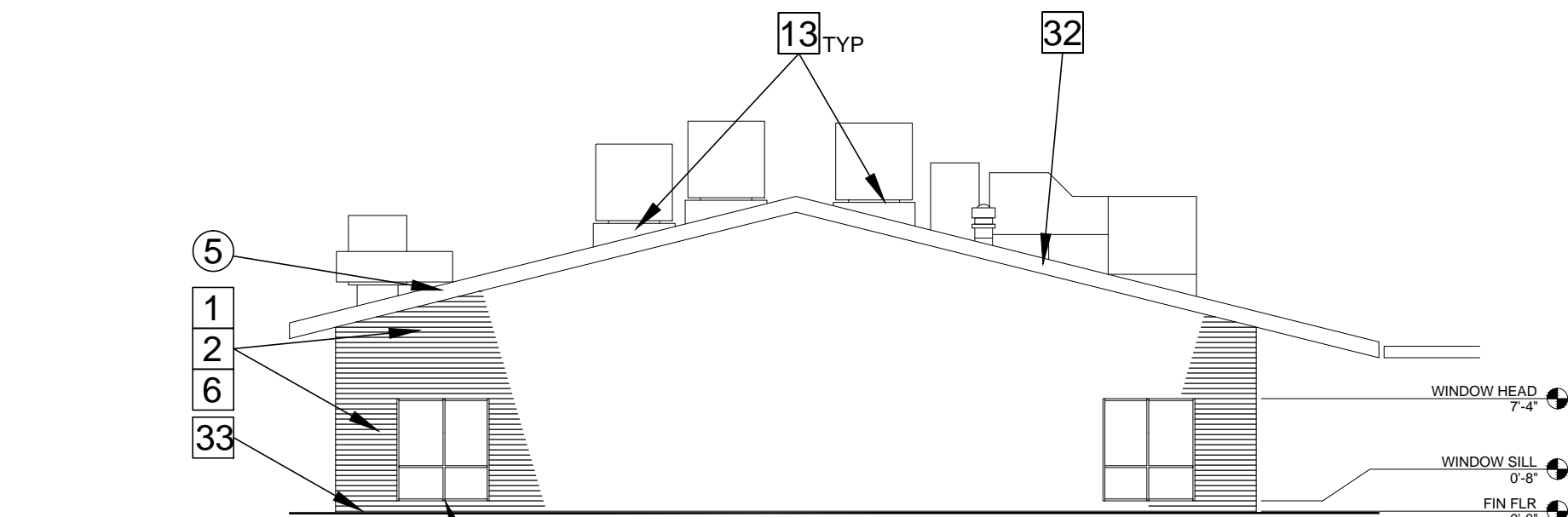


Revision	Revision Date
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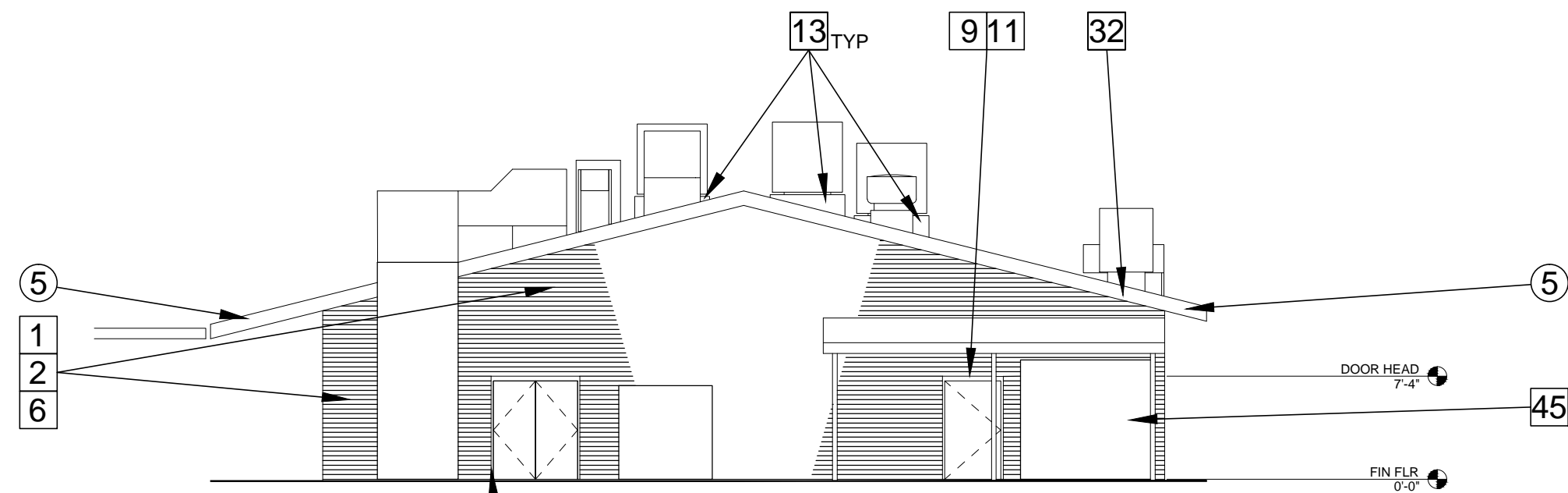
A3.1
BUILDING F



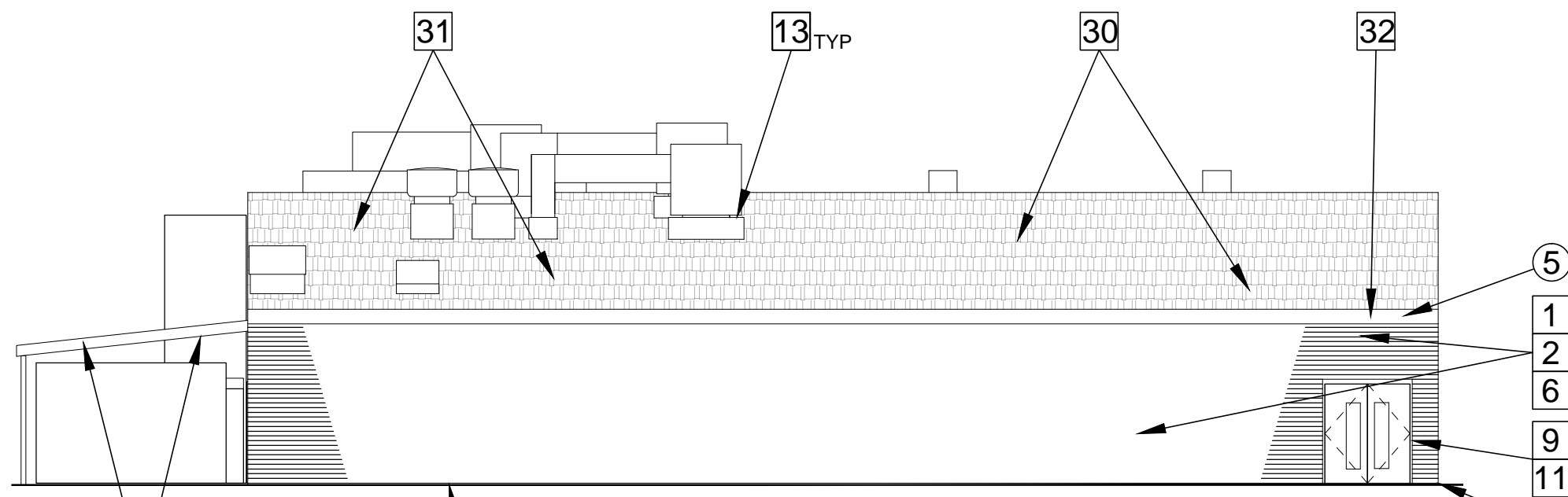
1 BUILDING F NORTH ELEVATION
3/32" = 1'-0"



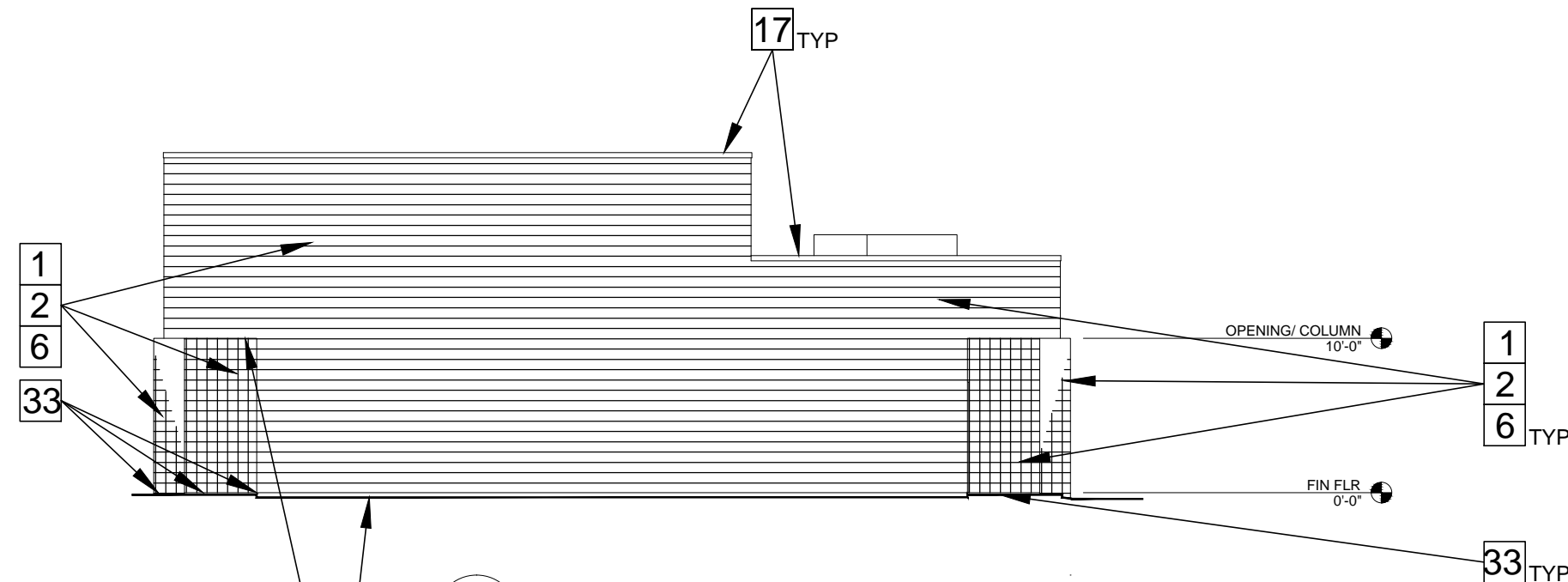
2 BUILDING F EAST ELEVATION
3/32" = 1'-0"



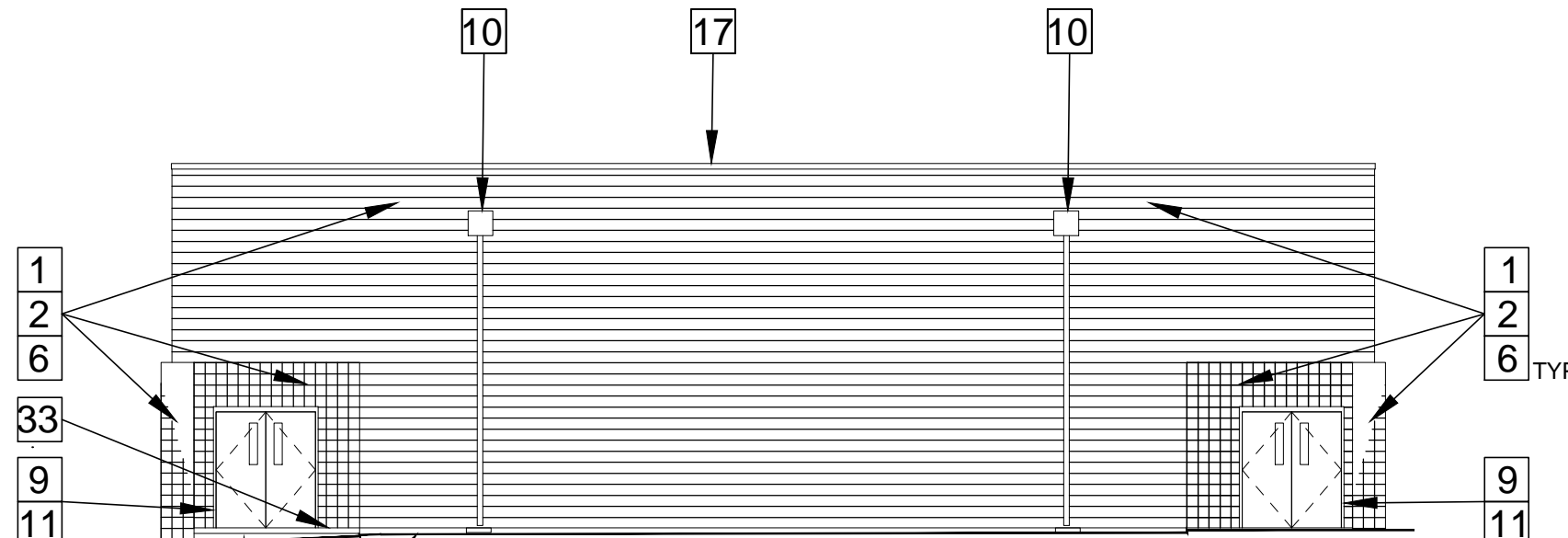
3 BUILDING F WEST ELEVATION
3/32" = 1'-0"



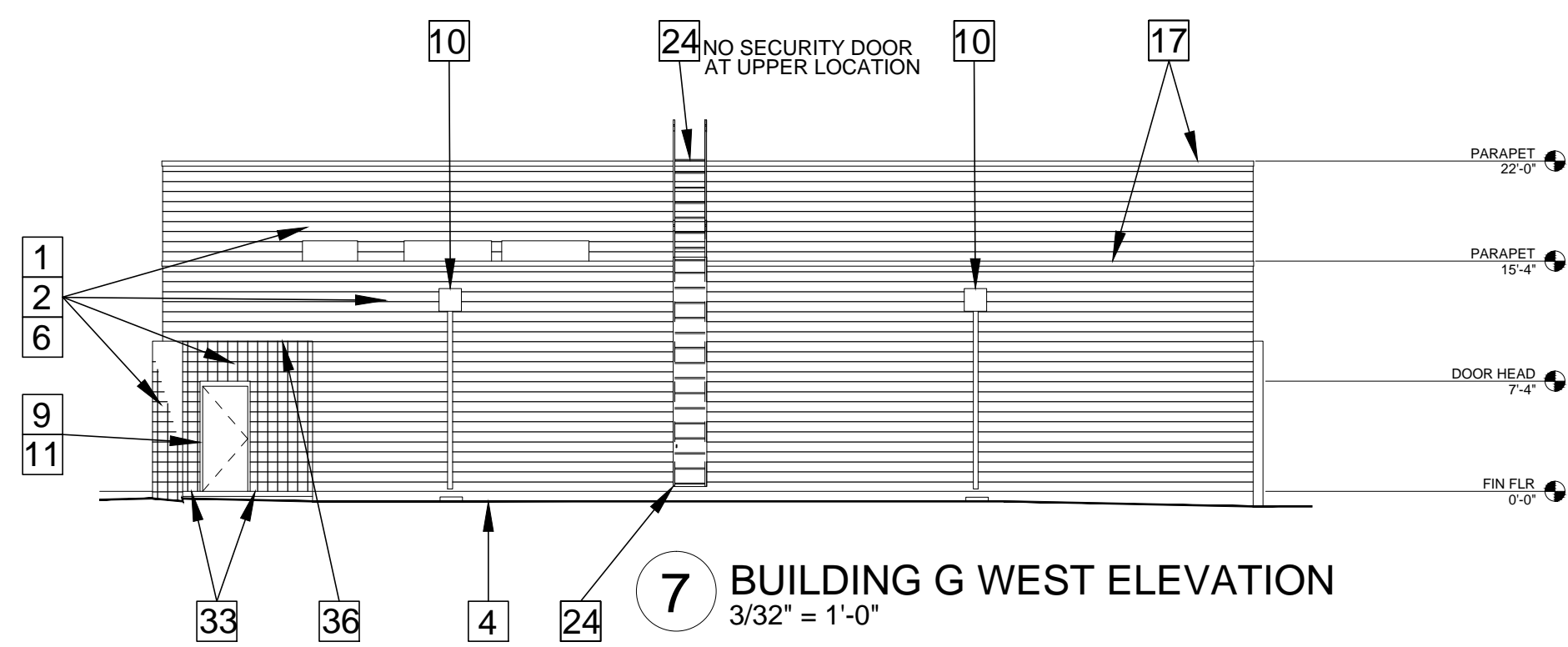
4 BUILDING F SOUTH ELEVATION
3/32" = 1'-0"



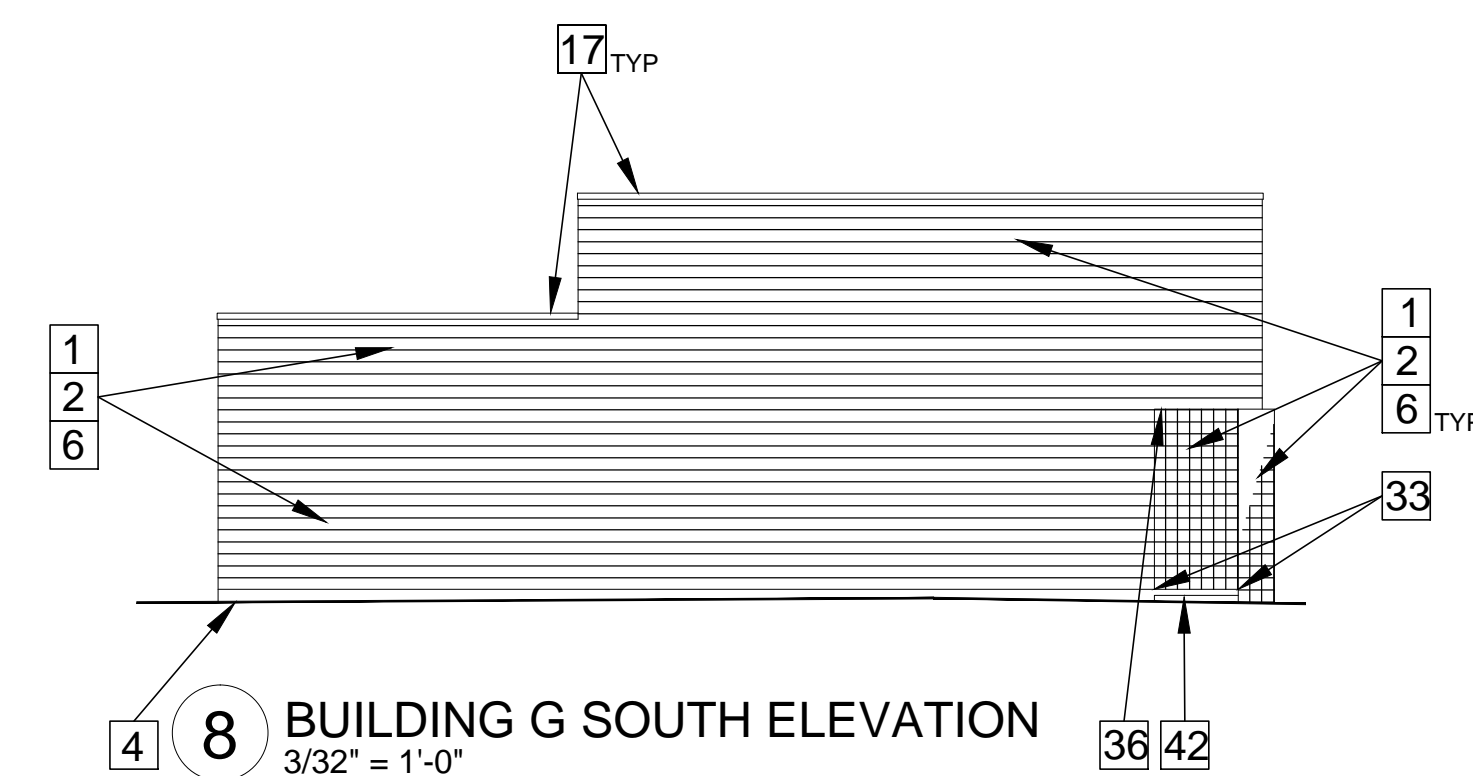
5 BUILDING G NORTH ELEVATION
3/32" = 1'-0"



6 BUILDING G EAST ELEVATION
3/32" = 1'-0"



7 BUILDING G WEST ELEVATION
3/32" = 1'-0"



8 BUILDING G SOUTH ELEVATION
3/32" = 1'-0"



9 BUILDING "G" WEST



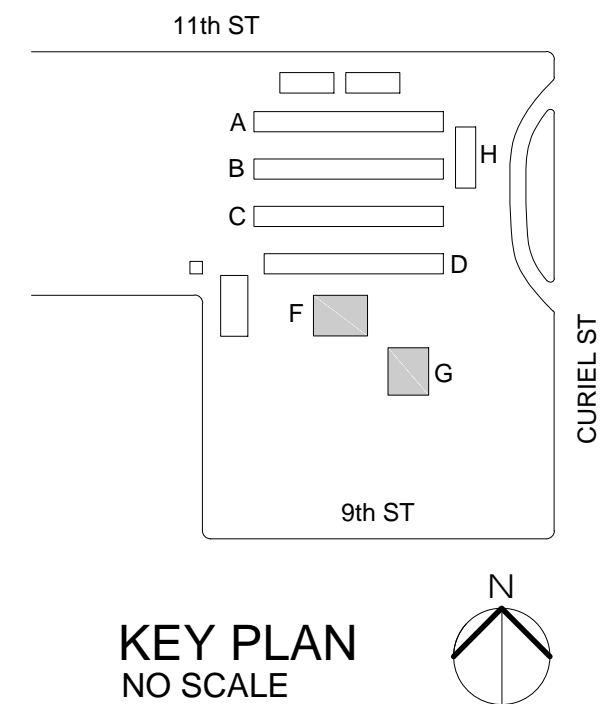
10 BUILDING "G" SOUTH



11 BUILDING "G" EAST

DEMOLITION KEYNOTES

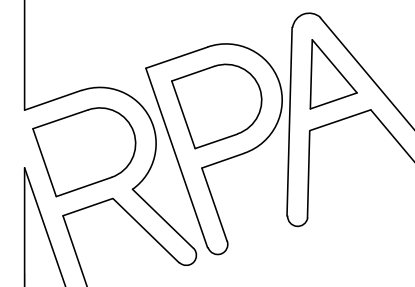
- CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
- REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
- REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
- REMOVE EXISTING WOOD DOOR AND FRAME.
- REMOVE EXISTING WOOD FASCIA.
- REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



KEY PLAN
NO SCALE

KEYNOTES

- CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
- CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
- EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
- EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3' BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION, RE-GRADE SOIL TO ORIGINAL GRADE, PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
- EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
- EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
- PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH R-19 FIBERGLASS BATTS.
- PROVIDE NEW STOREFRONT WINDOW, WITH SAFETY GLASS AT INDOOR AND OUTDOOR LITES. TYPICAL AT NEW WALL INFILL AT EACH CLASSROOM.
- EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS. CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
- EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS. REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
- EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
- PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
- METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING, CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
- EXISTING STEEL SASH WINDOW TO REMAIN; CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
- EXISTING WINDOW LITE; REMOVE GLAZING AND REGLAZE WITH SAFETY GLASS, ANSI Z97.1 CLASS B.
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- EXISTING THROUGH WALL SCUPPER; TO REMAIN. INSPECT, CLEAN AND REPAIR. FLASH IN NEW PRE-MANUFACTURED BOOT PER ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS. TYPICAL FOR ALL SCUPPERS.
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- PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
- FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
- EXISTING COUNTER FLASHING; INSPECT AND REPLACE DAMAGED OR MISSING COUNTER FLASHING. EXISTING REGLET CAN BE REUSED. REMOVE SEALANT FROM EXISTING JOINT AND INSTALL NEW. PREP AND PAINT ALL TYPICAL.
- PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
- PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
- EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
- EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRADES PERSON TO INSPECT AND REPAIR, RELOCATE OR EXTEND AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
- EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BUILDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ALL SHINGLES. ACCESSORIES AND TRIM TO WOOD SUBSTRATE. INSPECT SUBSTRATE AND REPAIR AS REQUIRED.
- INSTALL NEW FIBERGLASS REINFORCED SHINGLE ROOF SYSTEM, INCLUDING RIDGE VENT, ACCESSORIES AND METAL TRIM. PREP, PRIME AND PAINT TRIM. SEE DETAILS ON SHEET A/10.2.
- INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
- EXISTING BUILDING/ SIDEWALK JOINT MATERIAL; REMOVE, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING JOINT MATERIAL AS SPECIFIED.
- CONSTRUCT NEW VENTED GYPSUM SOFFIT.
- INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
- CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT ALL EXTERIOR EAVES, SOFFITS AND CEILINGS.
- PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQ.MNTS.
- METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
- METAL CANOPY; PROVIDE NEW STEEL CANOPY EDGE FRAMING AS INDICATED. ATTACH TO EXISTING COLUMN AND TO EXISTING MASONRY WALL TO SUPPORT CANOPY ROOF DECK. PREP, PRIME AND PAINT.
- PROVIDE NEW SHEET METAL TRIM TO MATCH EXISTING, ADJACENT TRIM. PREP, PRIME AND PAINT.
- PROVIDE NEW STEEL CHANNEL EAVE FRAMING TO SUPPORT ROOF DECK. MATCH EXISTING EAVE FRAMING. PREP, PRIME AND PAINT.
- PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB. PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
- EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS. CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
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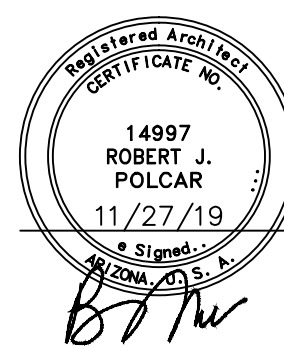


ROBERT POLCAR ARCHITECTS, INC.
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SCOTTSDALE, ARIZONA



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ELOY ELEMENTARY SCHOOL DISTRICT #11 CAMPUS ROOF RESTORATIONS AND WEATHERIZATIONS CURIEL PRIMARY SCHOOL 1000 NORTH CURIEL STREET ELOY, ARIZONA 85131



Revision Revision Date

Project number
110411103-9999-008-BRG

Date
11/27/2019

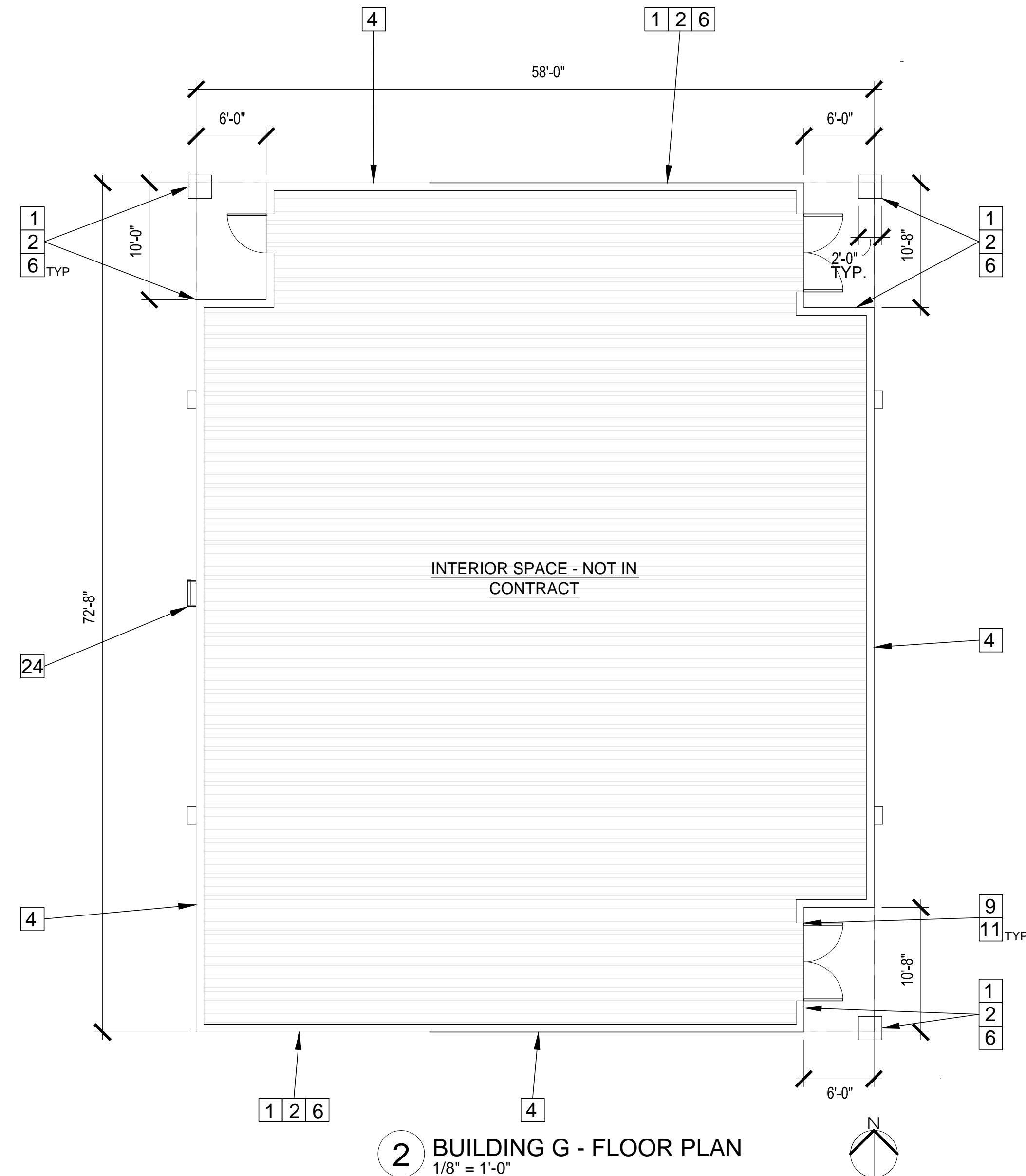
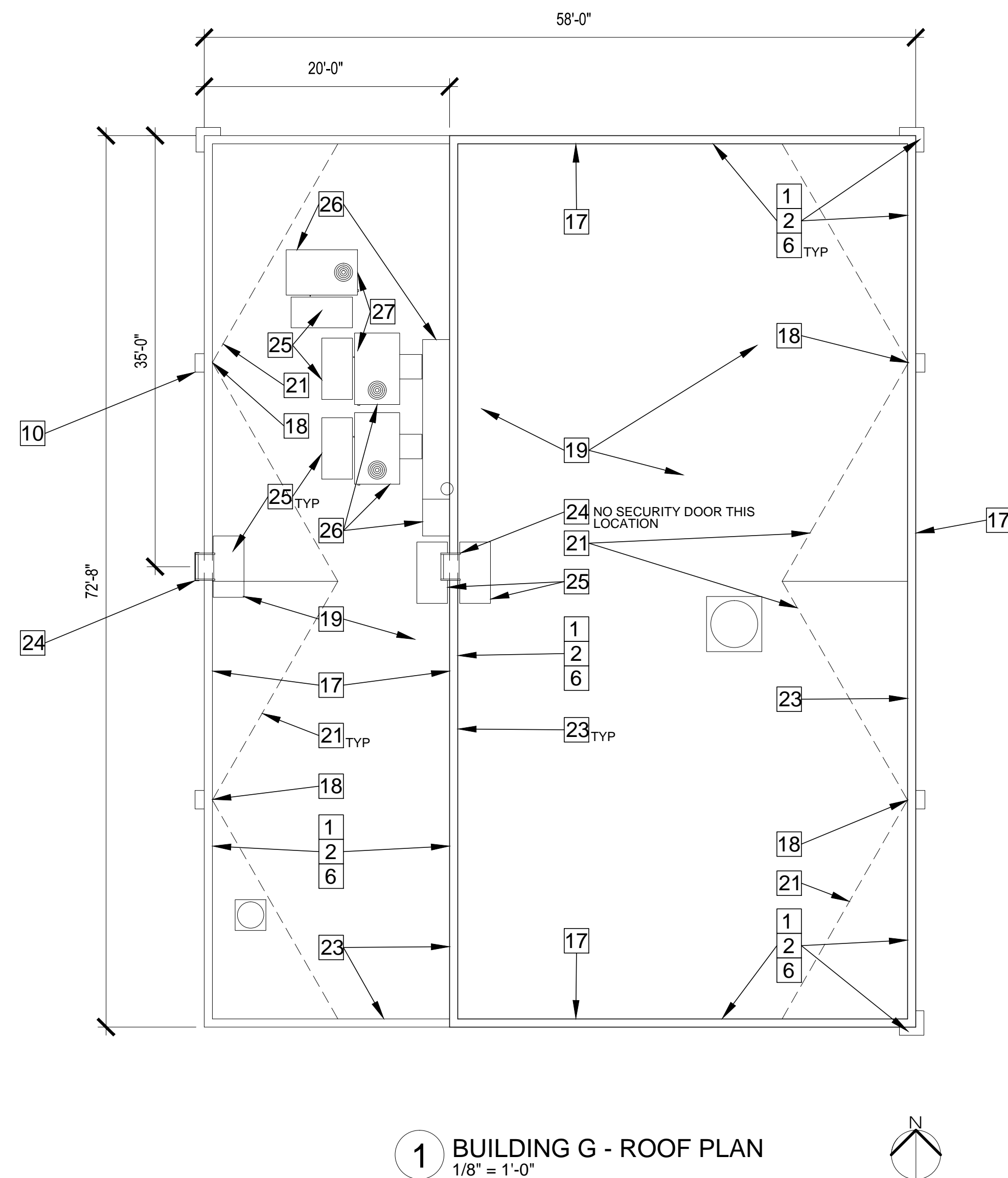
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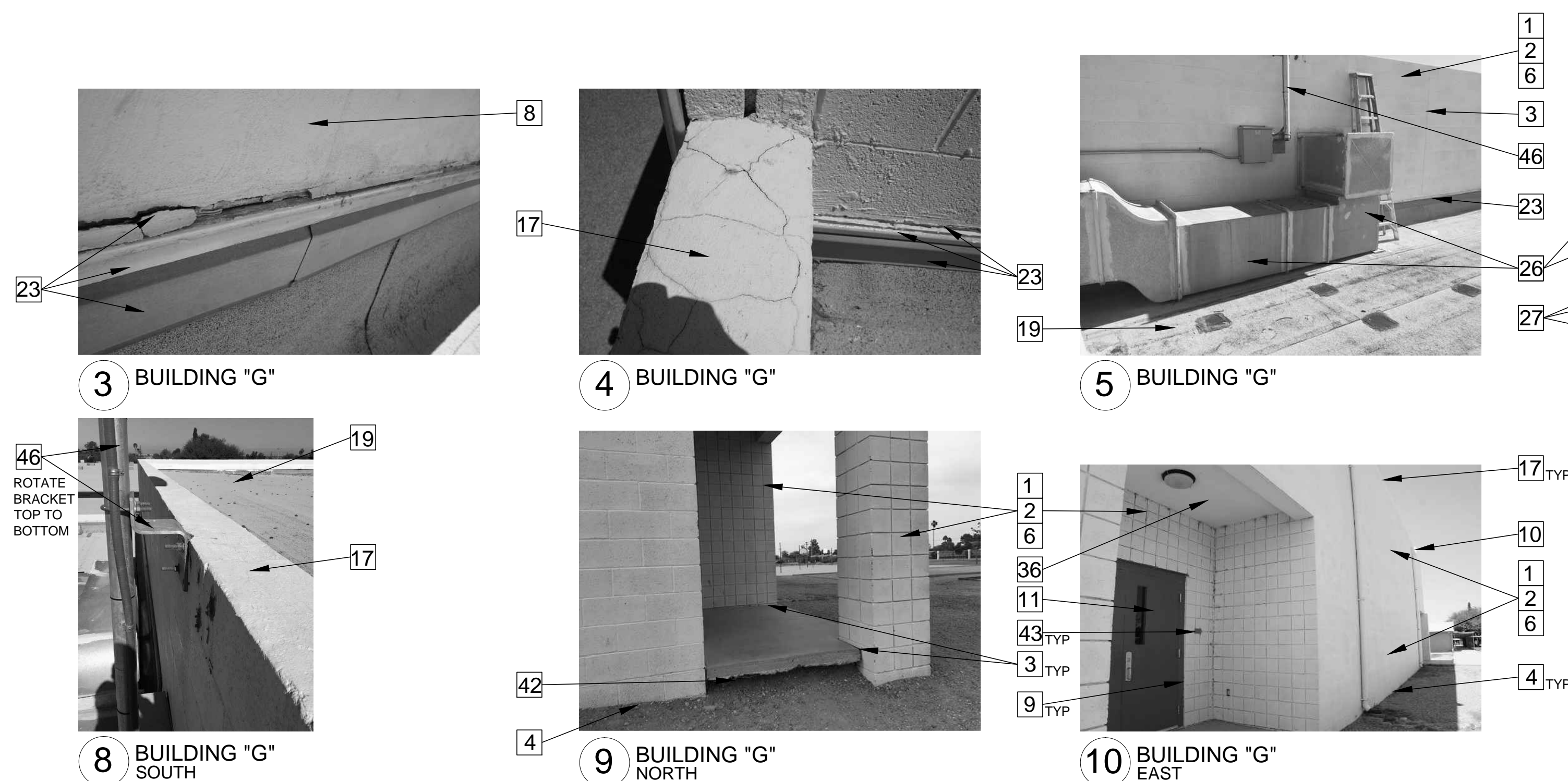
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BUILDINGS F,G



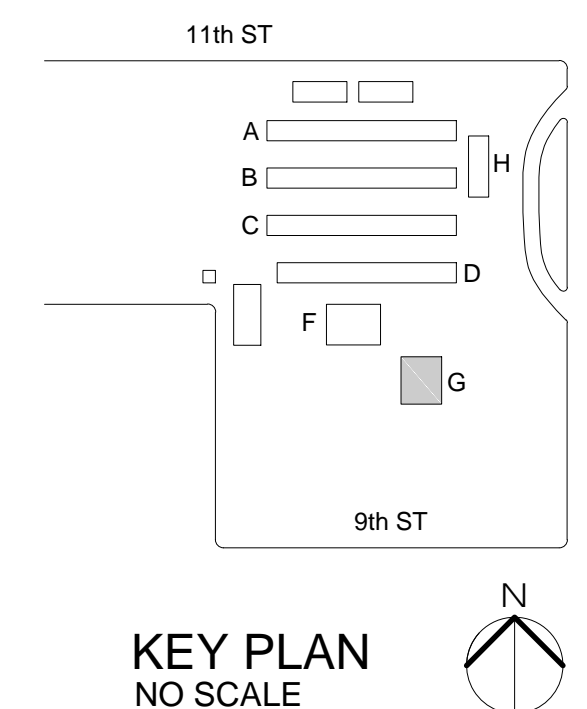
- ## # KEYNOTES

1. CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
2. CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
3. EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
4. EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3" BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION. RE-GRADE SOIL TO ORIGINAL GRADE, PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
5. EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
6. EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
7. PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH 1 1/2" FIBERGLASS BATTS.
8. PROVIDE NEW STOREFRONT WINDOW, WITH SAFETY GLASS AT INDOOR AND OUTDOOR LITES. TYPICAL AT NEW WALL INFILL AT EACH CLASSROOM.
9. EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS, CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
10. EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS, REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
11. EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPENINGS.
12. PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
13. METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
14. EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING. CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
15. EXISTING STEEL SASH WINDOW TO REMAIN; CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
16. EXISTING WINDOW LITE; REMOVE GLAZING AND REGLAZE WITH SAFETY GLASS, ANSI Z99.1 CLASS B.
17. EXISTING PARAPET; PROVIDE NEW WOOD NAILER. INSTALL NEW CONTINUOUS SELF-ADHERED, HIGH TEMPERATURE, BITUMINOUS MEMBRANE FLASHING. INSTALL NEW METAL COPING SYSTEM. SEE DETAIL 9/ A10.2. SEE SPECIFICATION.
18. EXISTING THROUGH WALL SCUPPER; TO REMAIN, INSPECT, CLEAN AND REPAIR. FLASH IN NEW PRE-MANUFACTURED BOOT PER ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS, TYPICAL FOR ALL SCUPPERS.
19. EXISTING BUILT-UP ROOF; REMOVE ALL ROOFING MATERIALS TO DECK, INCLUDING INSULATION, FLASHING AND TRIM. REGLET TO REMAIN, INSPECT AND REPAIR DECK AS NECESSARY. FASTEN NEW 1" THICK RIGID BOARD INSULATION AND 1/4" THICK GYPSUM COVER BOARD TO DECK. INSTALL NEW FULLY ADHERED 60 MIL PVC ROOFING SYSTEM.
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21. PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
22. FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
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24. PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
25. PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
26. EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
27. EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRADES PERSON TO INSPECT AND REPAIR, RELOCATE OR EXTEND AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
28. EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
29. EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BUILDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
30. EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ALL SHINGLES, ACCESSORIES AND TRIM TO WOOD SUBSTRATE. INSPECT SUBSTRATE AND REPAIR AS REQUIRED.
31. EXISTING NEW FIBERGLASS REINFORCED SHINGLE ROOF SYSTEM, INCLUDING RIDGE VENT, ACCESSORIES AND METAL TRIM. PREP, PRIME AND PAINT TRIM. SEE DETAILS ON SHEET A10.2.
32. INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
33. EXISTING BUILDING/ SIDEWALK JOINT MATERIAL; REMOVE, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING JOINT MATERIAL AS SPECIFIED.
34. CONSTRUCT NEW VENTED GYPSUM SOFFIT.
35. INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
36. CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT ALL EXTERIOR EAVES, SOFFITS AND CEILINGS.
37. PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQUIREMENTS.
38. METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
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40. PROVIDE NEW SHEET METAL TRIM TO MATCH EXISTING, ADJACENT TRIM. PREP, PRIME AND PAINT.
41. PROVIDE NEW STEEL CHANNEL EAVE EDGE FRAMING TO SUPPORT ROOF DECK. MATCH EXISTING EAVE EDGE FRAMING. PREP, PRIME AND PAINT.
42. PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE CURB. PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
43. EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS. CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
44. EXISTING WOOD SURFACE; PREPARE, REPAIR, SPOT PRIME AND PAINT.
45. EXISTING TO REMAIN.
46. APPROPRIATE TRADES PERSON TO REMOVE AND REINSTALL, MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, DATA, TELEPHONE, ANTENNAE, SOUND OR LIGHTING FACILITIES FOUND TO OBSTRUCT THE WORK OF THIS PROJECT, TYPICAL.
47. EXISTING WOOD TRIM; REMOVE AND INSTALL NEW. PREP, PRIME & PAINT.



- # DEMOLITION KEYNOTES

1. CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
2. REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
3. REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
4. REMOVE EXISTING WOOD DOOR AND FRAME.
5. REMOVE EXISTING WOOD FASCIA..
6. REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



1 BUILDING "G"

2 BUILDING "G"

3 BUILDING "G"

4 BUILDING "G"

5 BUILDING "H"
NORTH

6 BUILDING "H"
NORTH

7 BUILDING "H"
EAST

8 BUILDING "H"
EAST

11 BUILDING "H"
EAST

12 BUILDING "H"
EAST

13 BUILDING "H"
EAST

16 BUILDING "H"
EAST

17 BUILDING "H"
EAST

18 BUILDING "H"
EAST

9 BUILDING H - ROOF PLAN
1/8" = 1'-0"

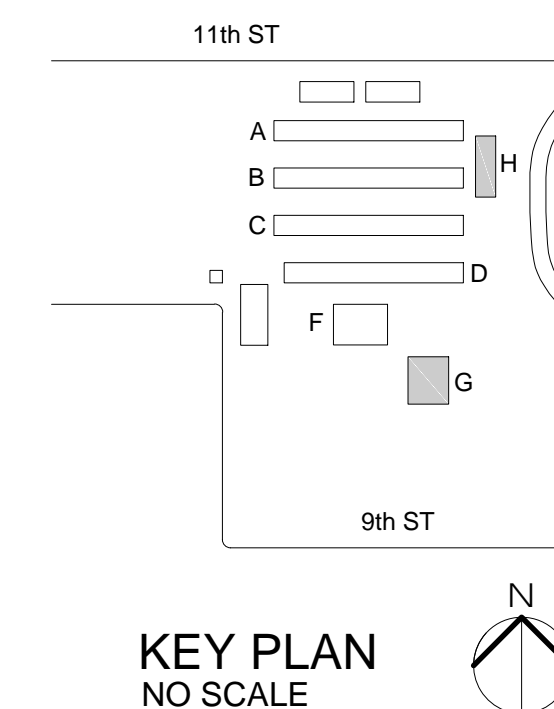
10 BUILDING H - FLOOR PLAN
1/8" = 1'-0"

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DEMOLITION KEYNOTES

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6. REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



KEY PLAN
NO SCALE

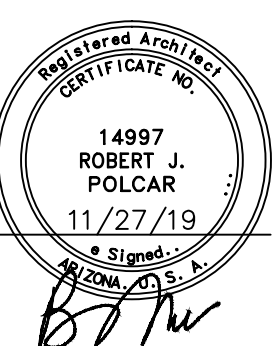
RPA

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PHOENIX, AZ 85016
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ELEMENTARY SCHOOL DISTRICT #11
OF RESTORATIONS AND WEATHERIZATIONS
CURIEL PRIMARY SCHOOL
1000 NORTH CURIEL STREET
ELOY, ARIZONA 85131



Revision	Revision Date
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Project number

Date _____

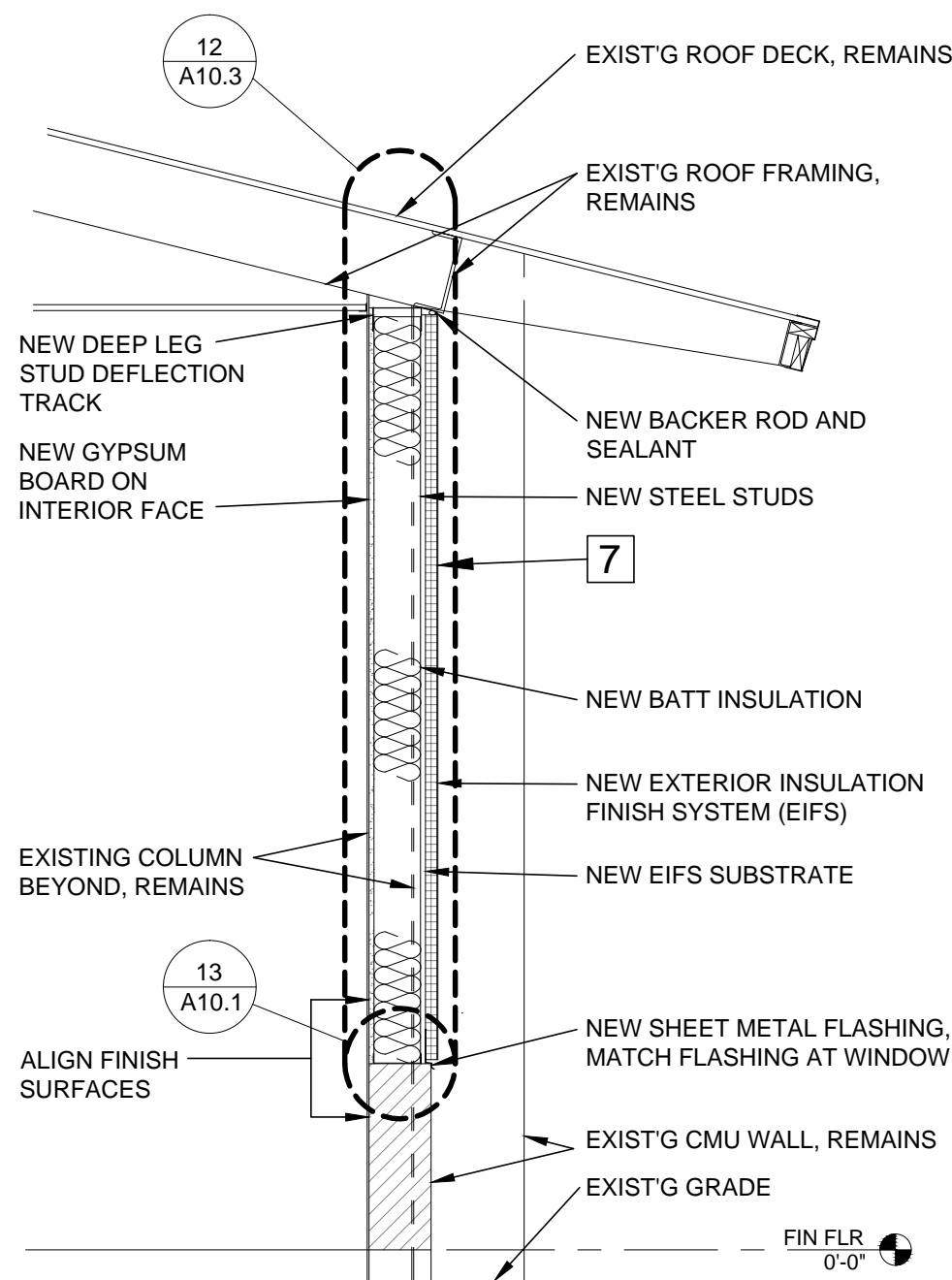
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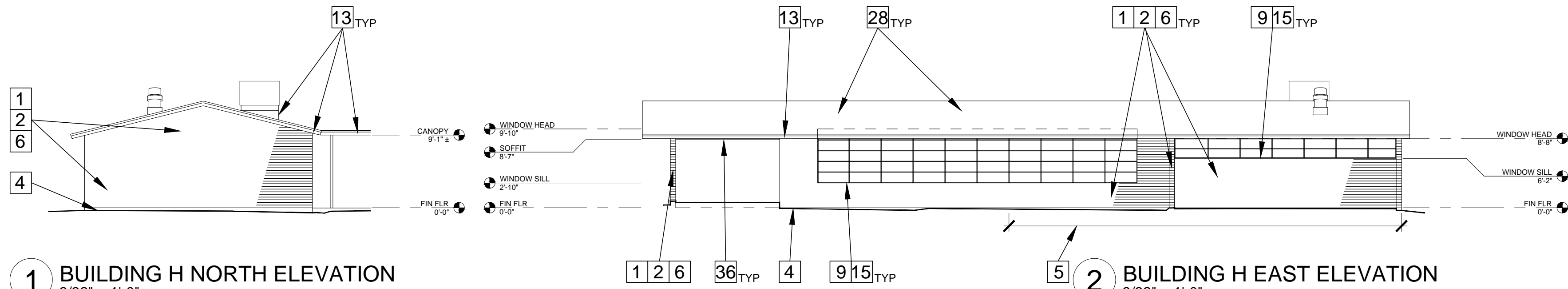
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BUILDING H

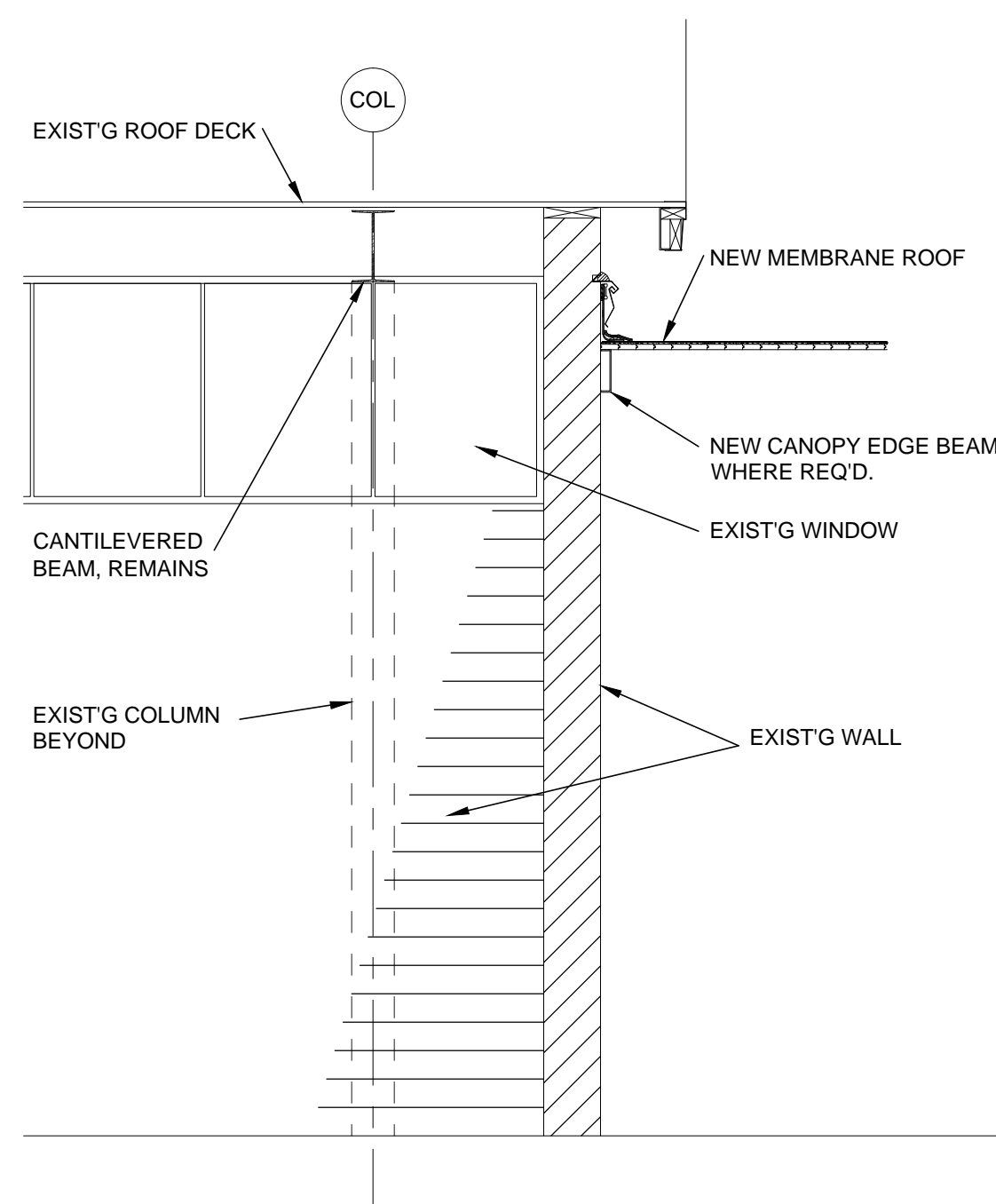


3 WALL SECTION
1/2" = 1'-0"

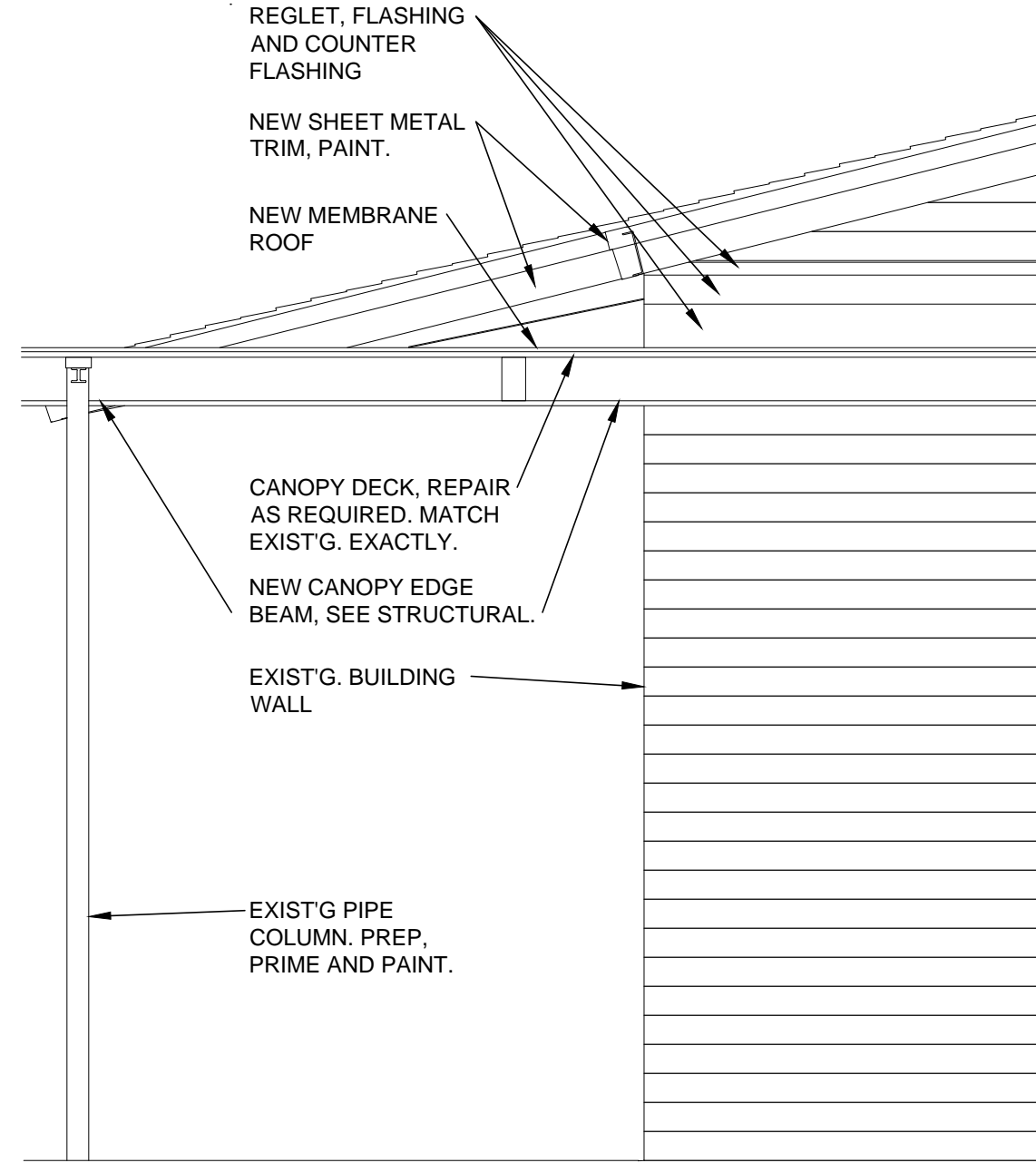


4 BUILDING H WEST ELEVATION
3/32" = 1'-0"

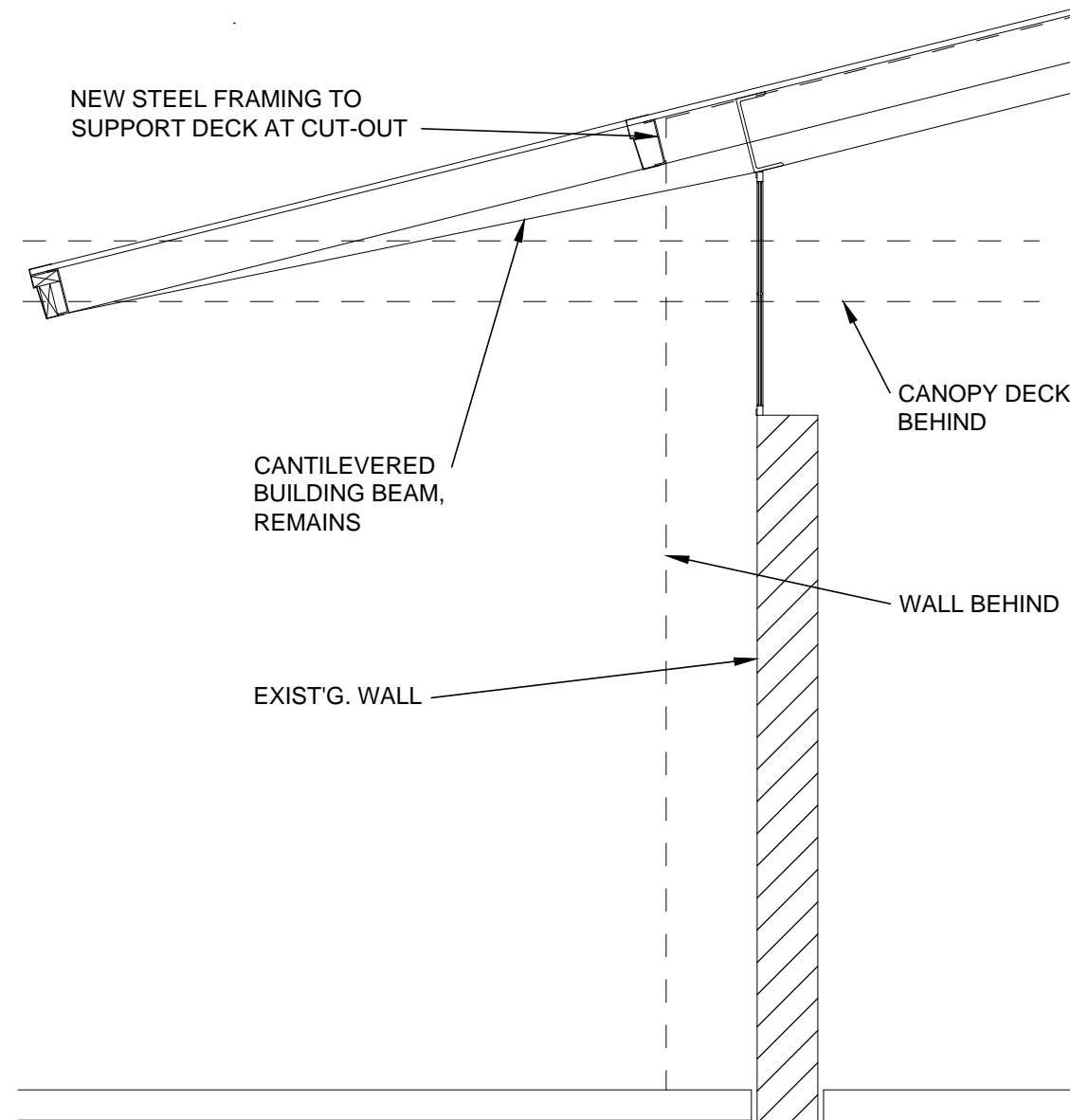
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3/32" = 1'-0"



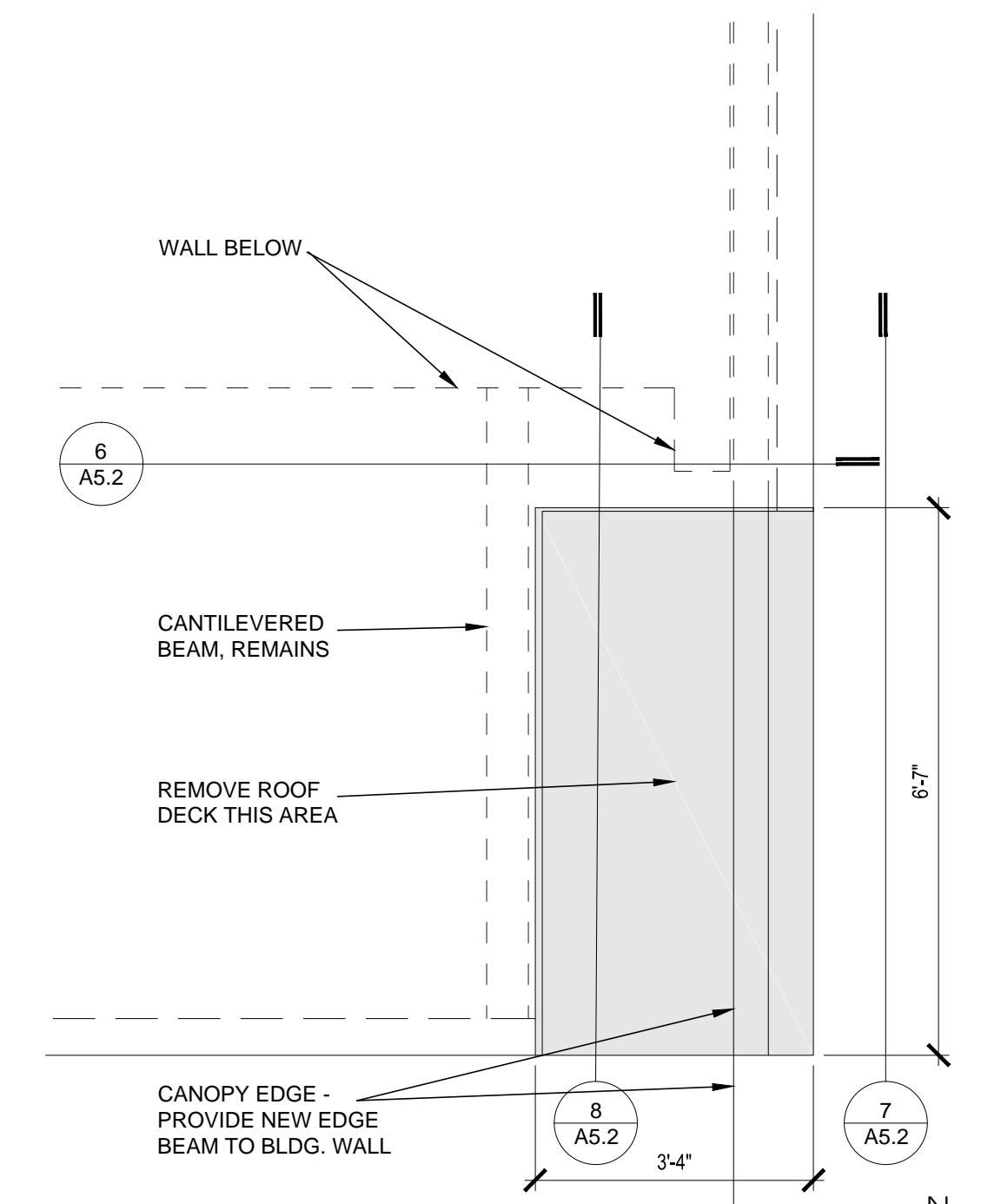
6 WALL SECTION
1/2" = 1'-0"



7 CANOPY SECTION
1/2" = 1'-0"



8 WALL SECTION
1/2" = 1'-0"



9 ENLARGED ROOF DEMO PLAN
1/2" = 1'-0" TYPICAL AT BUILDINGS A, B AND C



10 CANOPIES AT BUILDING "C"



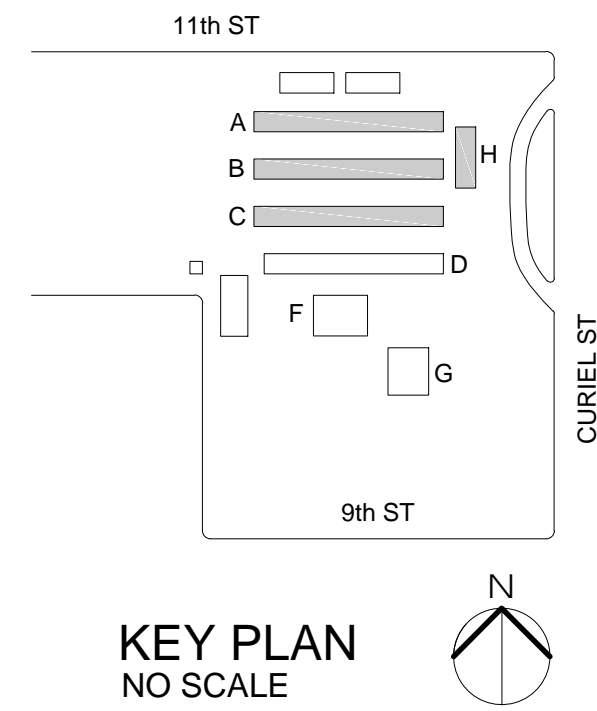
11 CANOPIES AT BUILDING "B"



12 CANOPIES AT BUILDING "B"

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11. EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
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13. METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
14. EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING, CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
15. EXISTING STEEL SASH WINDOW TO REMAIN; CLEAN, REPAIR, INSTALL NEW WEATHERSTRIP AT OPERABLE PARTS. PREP, PRIME AND PAINT ALL STEEL, INTERIOR AND EXTERIOR.
16. EXISTING WINDOW LITE; REMOVE GLAZING AND REGLAZE WITH SAFETY GLASS, ANSI Z97.1 CLASS B.
17. EXISTING PARAPET; PROVIDE NEW WOOD NAILER. INSTALL NEW CONTINUOUS SELF ADHERED, HIGH TEMPERATURE, BITUMINOUS MEMBRANE FLASHING. INSTALL NEW METAL COPING SYSTEM. SEE DETAIL 9/ A10.2. SEE SPECIFICATION.
18. EXISTING THROUGH WALL SCUPPER; TO REMAIN. INSPECT, CLEAN AND REPAIR. FLASH IN NEW PRE-MANUFACTURED BOOT PER ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS. TYPICAL FOR ALL SCUPPERS.
19. EXISTING BUILT-UP ROOF; REMOVE ALL ROOFING MATERIALS TO DECK, INCLUDING INSULATION, FLASHING AND TRIM. REGLET TO REMAIN. INSPECT AND REPAIR DECK AS NECESSARY. FASTEN NEW 1" THICK RIGID BOARD INSULATION AND 1/4" THICK GYPSUM COVER BOARD TO DECK. INSTALL NEW FULLY ADHERED 60 MIL PVC ROOFING SYSTEM.
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21. PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
22. FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
23. EXISTING COUNTER FLASHING; INSPECT AND REPLACE DAMAGED OR MISSING COUNTER FLASHING. EXISTING REGLET CAN BE REUSED. REMOVE SEALANT FROM EXISTING JOINT AND INSTALL NEW. PREP AND PAINT ALL TYPICAL.
24. PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
25. PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
26. EXISTING ROOF MOUNTED EQUIPMENT/ DUCT; LIFT TO FLASH NEW ROOF MEMBRANE UP AND OVER TOP OF CURB OR BENEATH DUCT. INSTALL NEW SHEET METAL FLASHING ON TOP OF CURB. REINSTALL EQUIPMENT/ DUCT.
27. EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRADES PERSON TO INSPECT AND REPAIR, RELOCATE OR EXTEND AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
28. EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
29. EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BUILDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
30. EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ALL SHINGLES. ACCESSORIES AND TRIM TO WOOD SUBSTRATE. INSPECT SUBSTRATE AND REPAIR AS REQUIRED.
31. INSTALL NEW FIBERGLASS REINFORCED SHINGLE ROOF SYSTEM, INCLUDING RIDGE VENT, ACCESSORIES AND METAL TRIM. PREP, PRIME AND PAINT TRIM. SEE DETAILS ON SHEET A/10.2.
32. INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
33. EXISTING BUILDING/ SIDEWALK JOINT MATERIAL; REMOVE, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING JOINT MATERIAL AS SPECIFIED.
34. CONSTRUCT NEW VENTED GYPSUM SOFFIT.
35. INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/ A10.2.
36. CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT ALL EXTERIOR EAVES, SOFFITS AND CEILINGS.
37. PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQ'MTS.
38. METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
39. METAL CANOPY; PROVIDE NEW STEEL CANOPY EDGE FRAMING AS INDICATED. ATTACH TO EXISTING COLUMN AND TO EXISTING MASONRY WALL TO SUPPORT CANOPY ROOF DECK. PREP, PRIME AND PAINT.
40. PROVIDE NEW SHEET METAL TRIM TO MATCH EXISTING, ADJACENT TRIM. PREP, PRIME AND PAINT.
41. PROVIDE NEW STEEL CHANNEL EAVE EDGE FRAMING TO SUPPORT ROOF DECK. MATCH EXISTING EAVE EDGE FRAMING. PREP, PRIME AND PAINT.
42. PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB. PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
43. EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS. CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
44. EXISTING WOOD SURFACE; PREPARE, REPAIR, SPOT PRIME AND PAINT.
45. EXISTING TO REMAIN.
46. APPROPRIATE TRADES PERSON TO REMOVE AND REINSTALL, MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, DATA, TELEPHONE, ANTENNAE, SOUND OR LIGHTING FACILITIES FOUND TO OBSTRUCT THE WORK OF THIS PROJECT. TYPICAL.
47. EXISTING WOOD TRIM; REMOVE AND INSTALL NEW. PREP, PRIME & PAINT.

RPA

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Seal of the State of Arizona
14997
ROBERT J. POLCAR
11/27/19
Signature
B. J. Polcar

Revision	Revision Date
Project number	110411103-9999-008-BRG
Date	11/27/2019
Drawn by	KS
Checked by	BP
Sheet Size	ARCH D 24"x36"

A5.2

BUILDING H



1 CANOPY
CENTRAL CANOPY



2 CANOPY
EAST CANOPY



4 CANOPY
CENTRAL CANOPY



5 CANOPY
EAST CANOPY



6 CANOPY
CENTRAL CANOPY



7 CANOPY
EAST CANOPY



8 CANOPY
CENTRAL CANOPY



9 CANOPY
EAST CANOPY



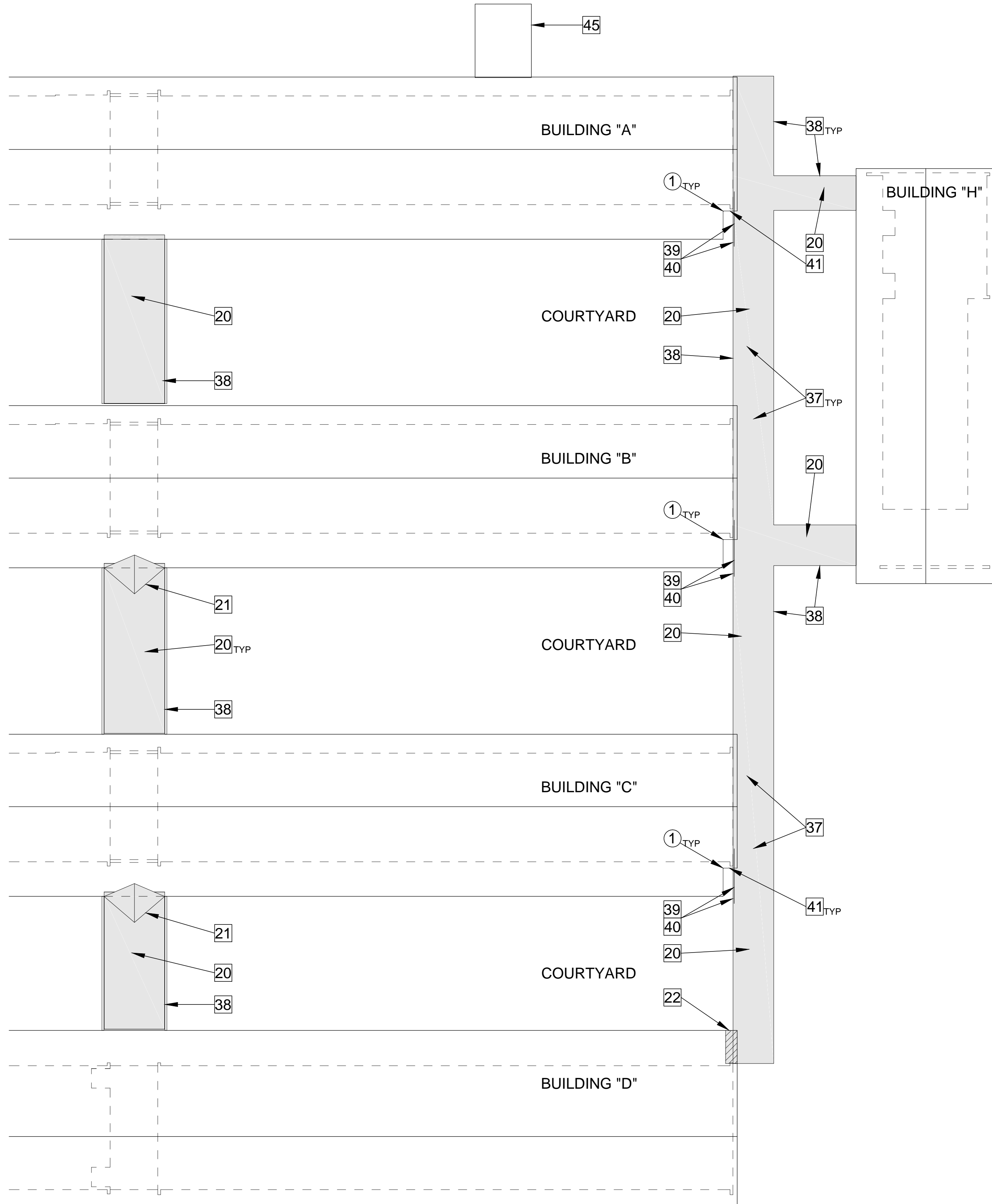
10 CANOPY
EAST CANOPY



11 CANOPY
EAST CANOPY



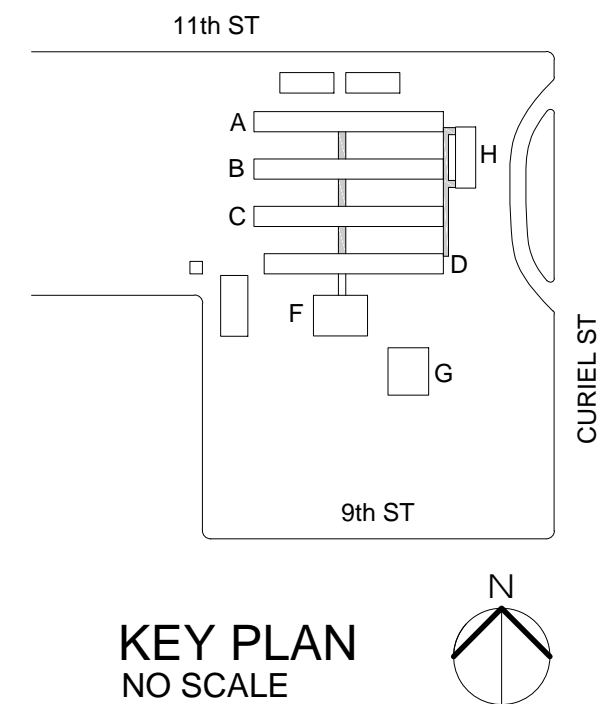
13 CANOPY
EAST CANOPY



3 CANOPY ROOF PLAN
1/16" = 1'-0"

DEMOLITION KEYNOTES

- CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
- REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
- REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
- REMOVE EXISTING WOOD DOOR AND FRAME.
- REMOVE EXISTING WOOD FASCIA.
- REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



KEYNOTES

- CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
- CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
- EXISTING MASONRY JOINT MATERIAL; REMOVE MATERIAL, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
- EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3" BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION. RE-GRADE SOIL TO ORIGINAL GRADE, PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
- EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
- EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU.
- PROVIDE NEW EXTERIOR STUD FRAMED PARTITION: 6" STEEL STUDS AT 16" O.C. WITH GYPSUM WALLBOARD ON INTERIOR FACE AND EXTERIOR SHEATHING AND EIFS ON EXTERIOR FACE. FULLY INSULATE STUD CAVITY WITH R-19 FIBERGLASS BATTS.
- PROVIDE NEW STOREFRONT WINDOW, WITH SAFETY GLASS AT INDOOR AND OUTDOOR LITES. TYPICAL AT NEW WALL INFILL AT EACH CLASSROOM.
- EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS. CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
- EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS. REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
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- EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BUILDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
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- INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
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- INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
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RPA

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Seal of Robert J. Polcar
14997
ROBERT J. POLCAR
11/27/19
Signature
b7w

Revision	Revision Date
Project number	110411103-9999-008-BRG
Date	11/27/2019
Drawn by	KS
Checked by	BP
Sheet Size	ARCH D 24"x36"

A6.1
CANOPIES



- # KEYNOTES
1.

CLEAN ALL EXTERIOR CONCRETE, MASONRY, GYPSUM BOARD, WOOD AND METAL FINISHES.
2.

CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR PRIOR TO COATING WALL SURFACE.
3.

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EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3' BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION, RE-GRADE SOIL TO ORIGINAL GRADE, PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
5.

EXISTING SWALE; PROTECT PLANTS. REGRADE SWALE FOR POSITIVE DRAINAGE.
6.

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8.

EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS. CLEAN JOINT AND INSTALL NEW BACKER ROD AND SEALANT.
9.

EXISTING CONDUCTOR HEAD AND DOWNSPOUT; REMOVE ALL DOWNSPOUTS. REPLACE DAMAGED DOWNSPOUTS WITH NEW TO MATCH EXISTING. PREP, PRIME AND PAINT ALL DOWNSPOUTS. REINSTALL WITH NEW ANCHORAGE. PREP, PRIME AND PAINT CONDUCTOR HEADS.
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EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
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PROVIDE NEW HOLLOW METAL DOOR AND FRAME INCLUDING NEW HARDWARE. PREP, PRIME AND PAINT DOOR AND FRAME, ALL SURFACES.
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EXISTING FERROUS METAL WINDOW FRAMES; PROTECT GLAZING, CLEAN, PREP, PRIME AND PAINT INTERIOR AND EXTERIOR, TYPICAL.
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20.

PROVIDE TAPERED RIGID INSULATION AS REQUIRED FOR POSITIVE DRAINAGE. TYPICAL AT LOW SLOPE ROOF.
21.

FRAME AND SHEATH EAVE SPACE FROM CANOPY ROOF TO SLOPED BUILDING ROOF. INSTALL MEMBRANE ROOFING UP AND OVER TO TIE-IN WITH SHINGLE SYSTEM ON SLOPED ROOF.
22.

EXISTING COUNTER FLASHING; INSPECT AND REPLACE DAMAGED OR MISSING COUNTER FLASHING. EXISTING REGLET CAN BE REUSED. REMOVE SEALANT FROM EXISTING JOINT AND INSTALL NEW. PREP AND PAINT ALL. TYPICAL.
23.

PROVIDE NEW OSHA COMPLIANT ALUMINUM EXTERIOR FIXED ACCESS SAFETY LADDER WITH SECURITY DOOR AND WALK THROUGH.
24.

PROVIDE NEW WALK PAD AT MECHANICAL UNIT MAINTENANCE ACCESS POINTS AND AT NEW ROOF LADDERS. TYPICAL FOR ALL UNITS ON ROOFS. SUBMIT SHOP DRAWING INDICATING LOCATIONS.
25.

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27.

EXISTING STEEP SLOPE ROOF SYSTEM; INSPECT AND REPAIR FOR A WEATHERTIGHT SYSTEM.
28.

EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ROOFING AT BULDING JOINT, 3'-0" EACH SIDE OF JOINT. INSPECT AND REPAIR SUBSTRATE AS REQUIRED. INSTALL NEW SHINGLE SYSTEM TO MATCH AND TIE INTO EXISTING.
29.

EXISTING STEEP SLOPE ROOF SYSTEM; REMOVE ALL SHINGLES. ACCESSORIES AND TRIM TO WOOD SUBSTRATE. INSPECT SUBSTRATE AND REPAIR AS REQUIRED.
30.

INSTALL NEW FIBERGLASS REINFORCED SHINGLE ROOF SYSTEM, INCLUDING RIDGE VENT, ACCESSORIES AND METAL TRIM. PREP, PRIME AND PAINT TRIM. SEE DETAILS ON SHEET A/10.2.
31.

INSTALL NEW WOOD FASCIA TO MATCH REMOVED FASCIA. PREP AND STAIN ALL NEW WOOD FASCIA, ALL EXISTING FRAMING AND EXPOSED ROOF DECK.
32.

EXISTING BUILDING/ SIDEWALK JOINT MATERIAL; REMOVE, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING JOINT MATERIAL AS SPECIFIED.
33.

CONSTRUCT NEW VENTED GYPSUM SOFFIT.
34.

INSTALL NEW VENTS IN EXISTING WOOD BLOCKING. SEE DETAIL 7/A10.2.
35.

CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT ALL EXTERIOR EAVES, SOFFITS AND CEILINGS.
36.

PROVIDE NEW ROOF BLOCKS TO SUPPORT ALL UTILITY RUNS ON ALL LOW SLOPE ROOFS AND CANOPIES. SPACING PER MANUFACTURER'S REQ.MNTS.
37.

METAL CANOPY; PREP, PRIME AND PAINT ALL WOOD AND STEEL SURFACES.
38.

METAL CANOPY; PROVIDE NEW STEEL CANOPY EDGE FRAMING AS INDICATED. ATTACH TO EXISTING COLUMN AND TO EXISTING MASONRY WALL TO SUPPORT CANOPY ROOF DECK. PREP, PRIME AND PAINT.
39.

PROVIDE NEW SHEET METAL TRIM TO MATCH EXISTING, ADJACENT TRIM. PREP, PRIME AND PAINT.
40.

PROVIDE NEW STEEL CHANNEL EAVE EDGE FRAMING TO SUPPORT ROOF DECK. MATCH EXISTING EAVE EDGE FRAMING. PREP, PRIME AND PAINT.
41.

PROVIDE COMPACTED ABC FILL IN VOID BENEATH EXISTING CONCRETE SLAB. PROVIDE ADDITIONAL CLEAN SOIL ADJACENT TO SLAB, GRADE AND COMPACT.
42.

EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS. CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
43.

EXISTING WOOD SURFACE; PREPARE, REPAIR, SPOT PRIME AND PAINT.
44.

EXISTING TO REMAIN.
45.

APPROPRIATE TRADES PERSON TO REMOVE AND REINSTALL, MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, DATA, TELEPHONE, ANTENNAE, SOUND OR LIGHTING FACILITIES FOUND TO OBSTRUCT THE WORK OF THIS PROJECT. TYPICAL.
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DEMOLITION KEYNOTES

1.

CAREFULLY CUT AND REMOVE ROOFING, ROOF DECK, PERIMETER EAVE FRAMING AND TRIM.
2.

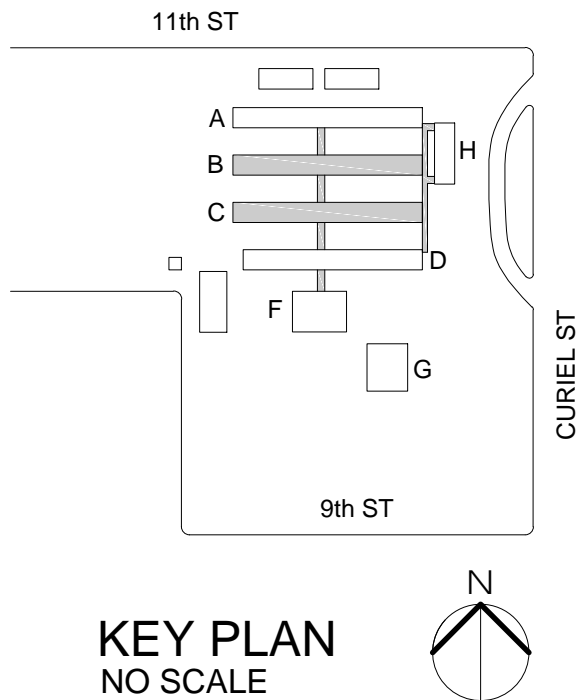
REMOVE EXISTING WOOD "SECURITY" PANELING AT WINDOWS.
3.

REMOVE EXISTING STEEL SASH WINDOW SYSTEM.
4.

REMOVE EXISTING WOOD DOOR AND FRAME.
5.

REMOVE EXISTING WOOD FASCIA.
6.

REMOVE AREA OF EXISTING ROOFING FOR REPAIR/ REPLACEMENT.



RPA

ROBERT POLCAR ARCHITECTS, INC.
(480) 675-9760 (602) 363-4096
SCOTTSDALE, ARIZONA

RedTree

CONSULTING

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ELOY ELEMENTARY SCHOOL DISTRICT #11
CAMPUS ROOF RESTORATIONS AND WEATHERIZATIONS
CURIEL PRIMARY SCHOOL
1000 NORTH CURIEL STREET
ELOY, ARIZONA 85131

Sealed Architect
Certificate No.

14997
ROBERT J.
POLCAR
11/27/19
Signed
B. J. W.

Revision

Revision Date

Project number

110411103-9999-008-BRG

Date

11/27/2019

Drawn by

KS

Checked by

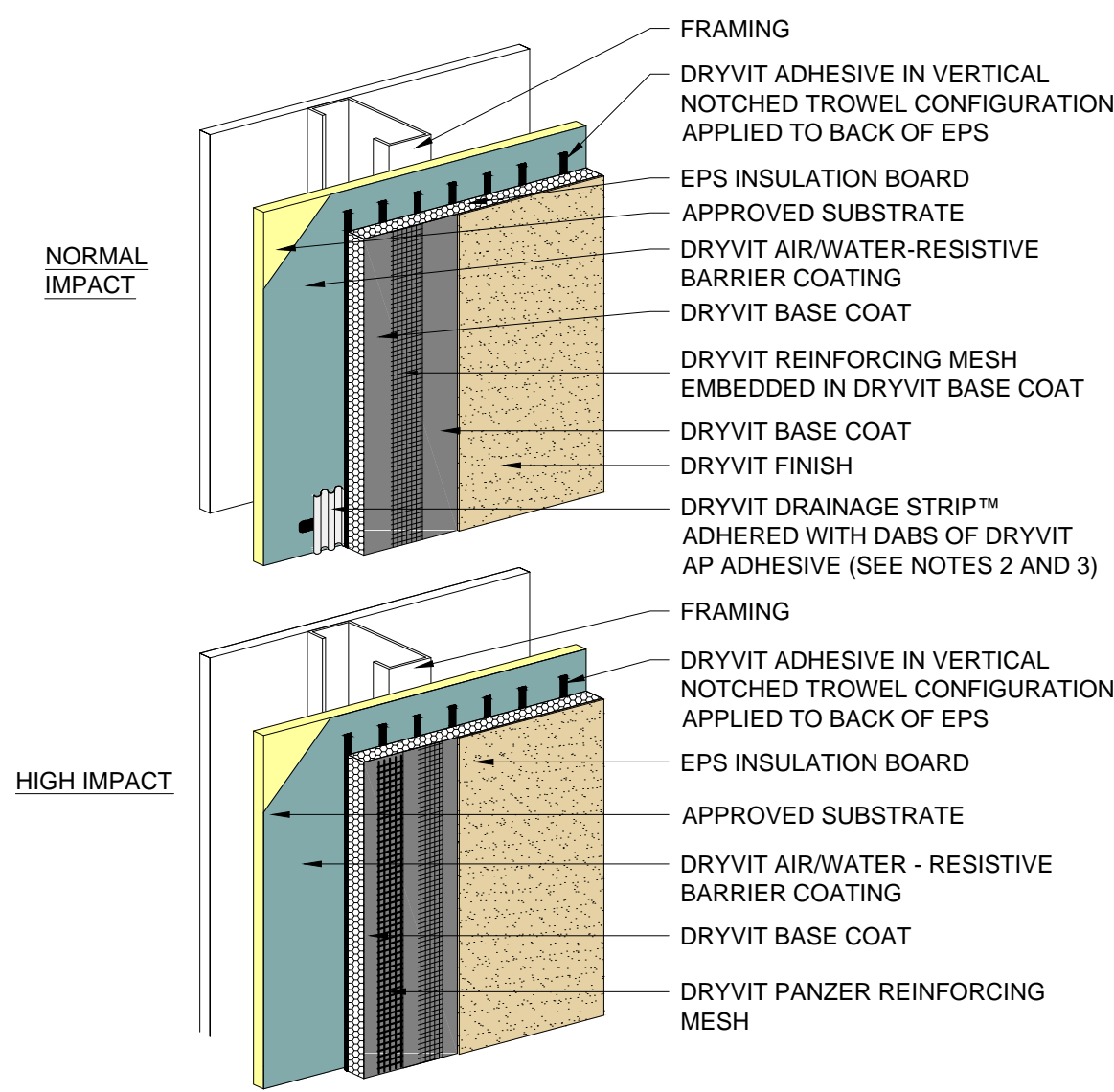
BP

Sheet Size

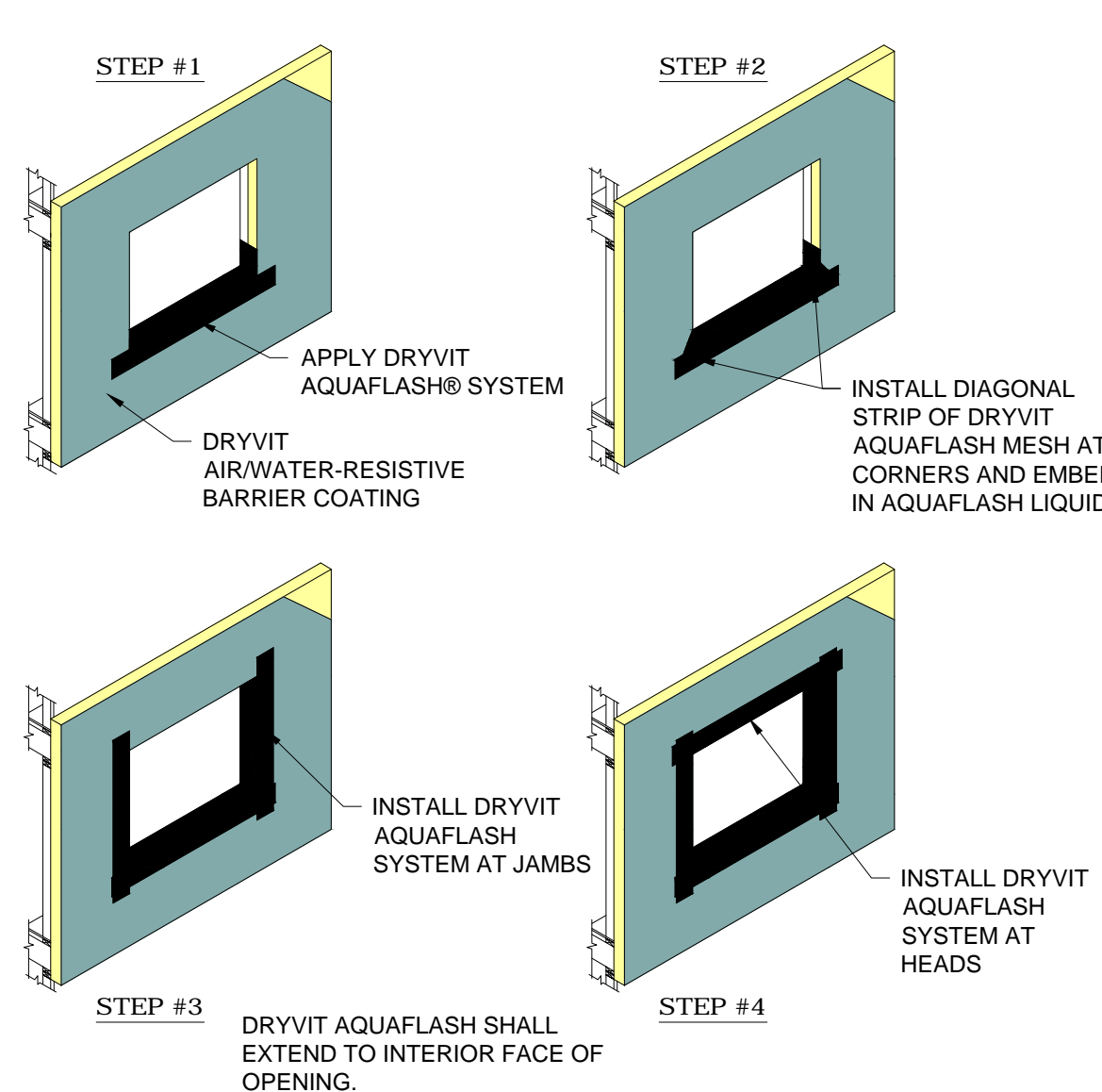
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A9.1

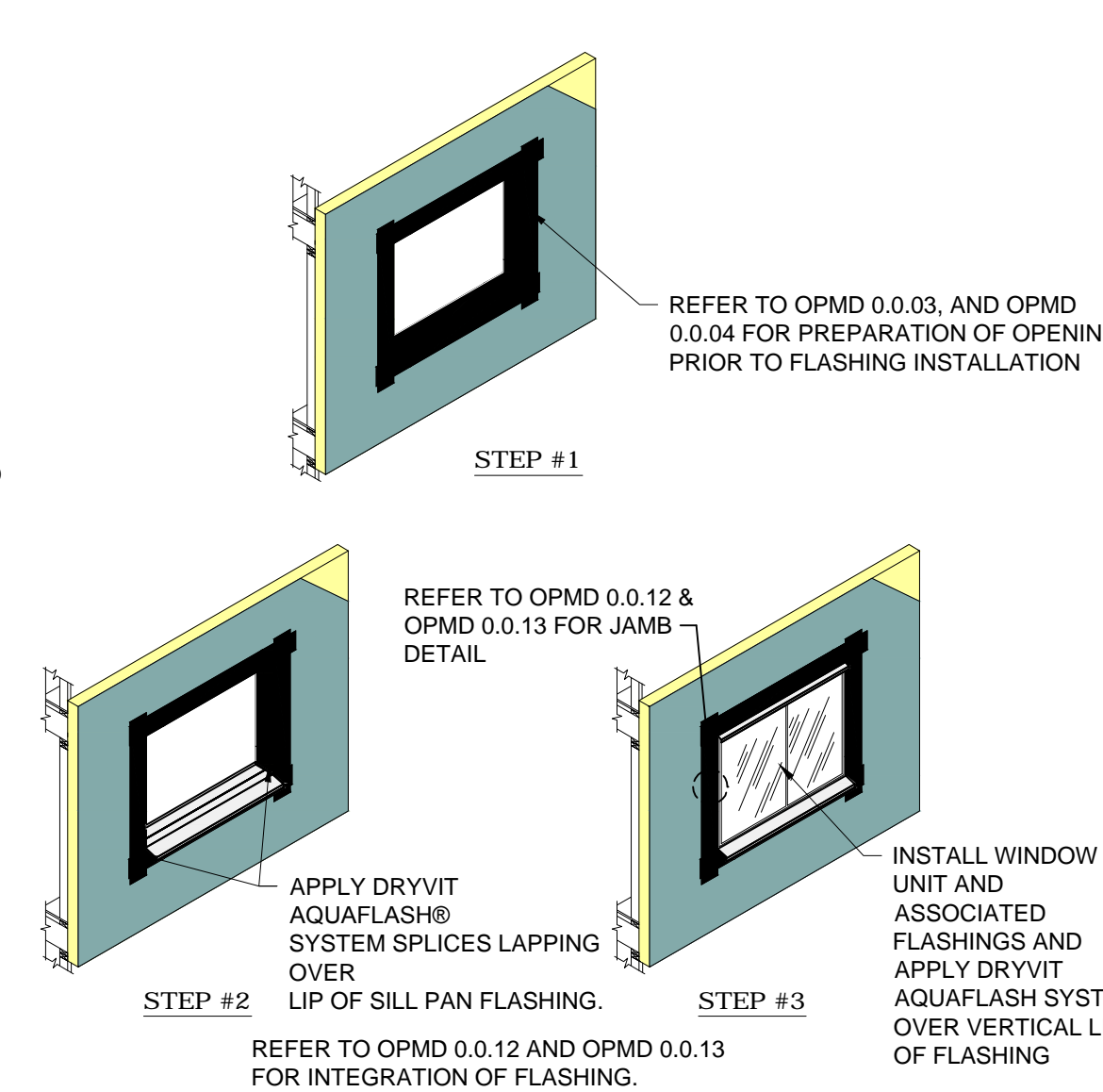
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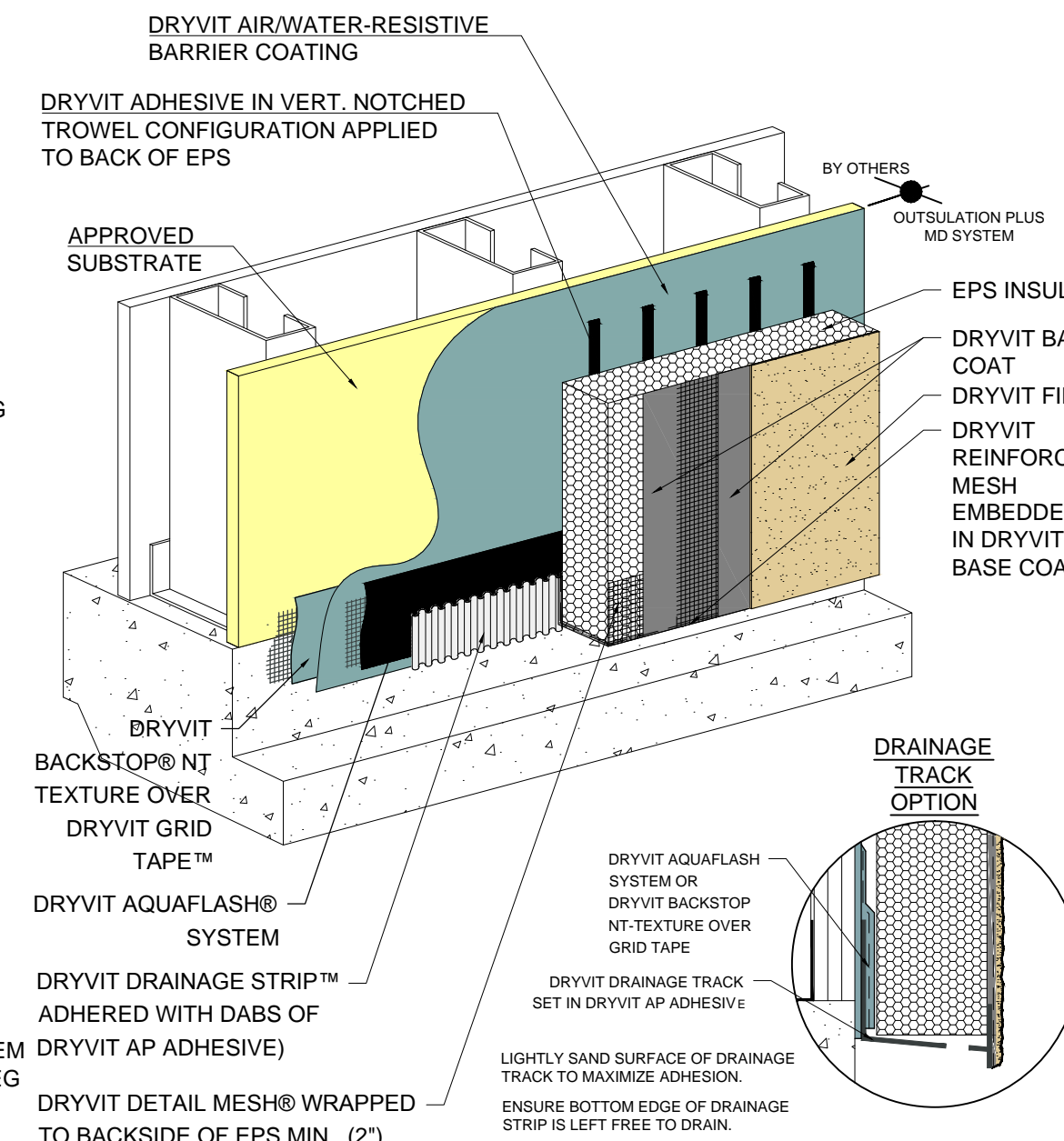
1 EIFS SYSTEM
- OPMD 0.0.01
CSW A10.1_NS



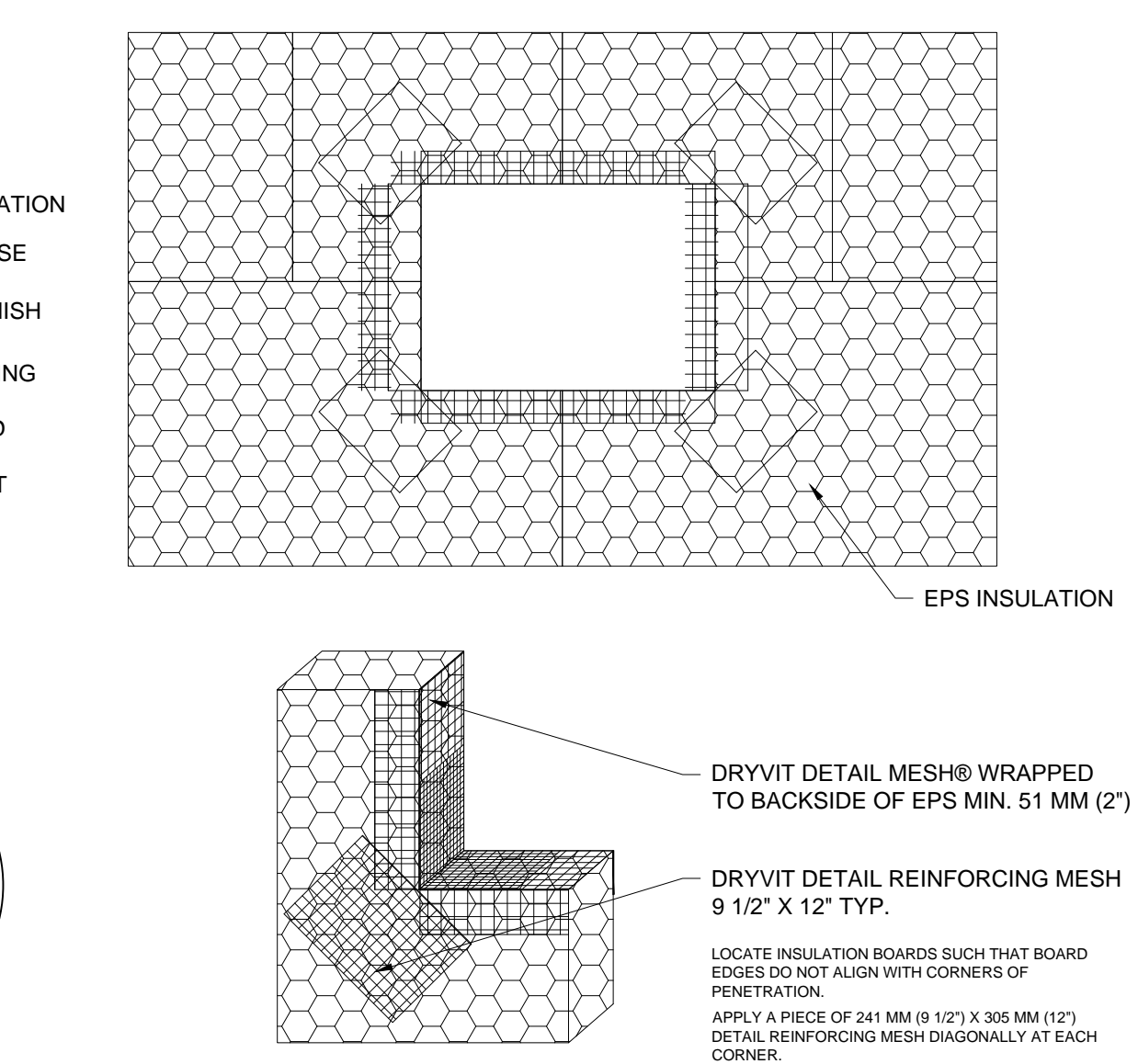
2 OPENING PREP-AQUALASH
- OPMD 0.0.03
CSW A10.1_NS



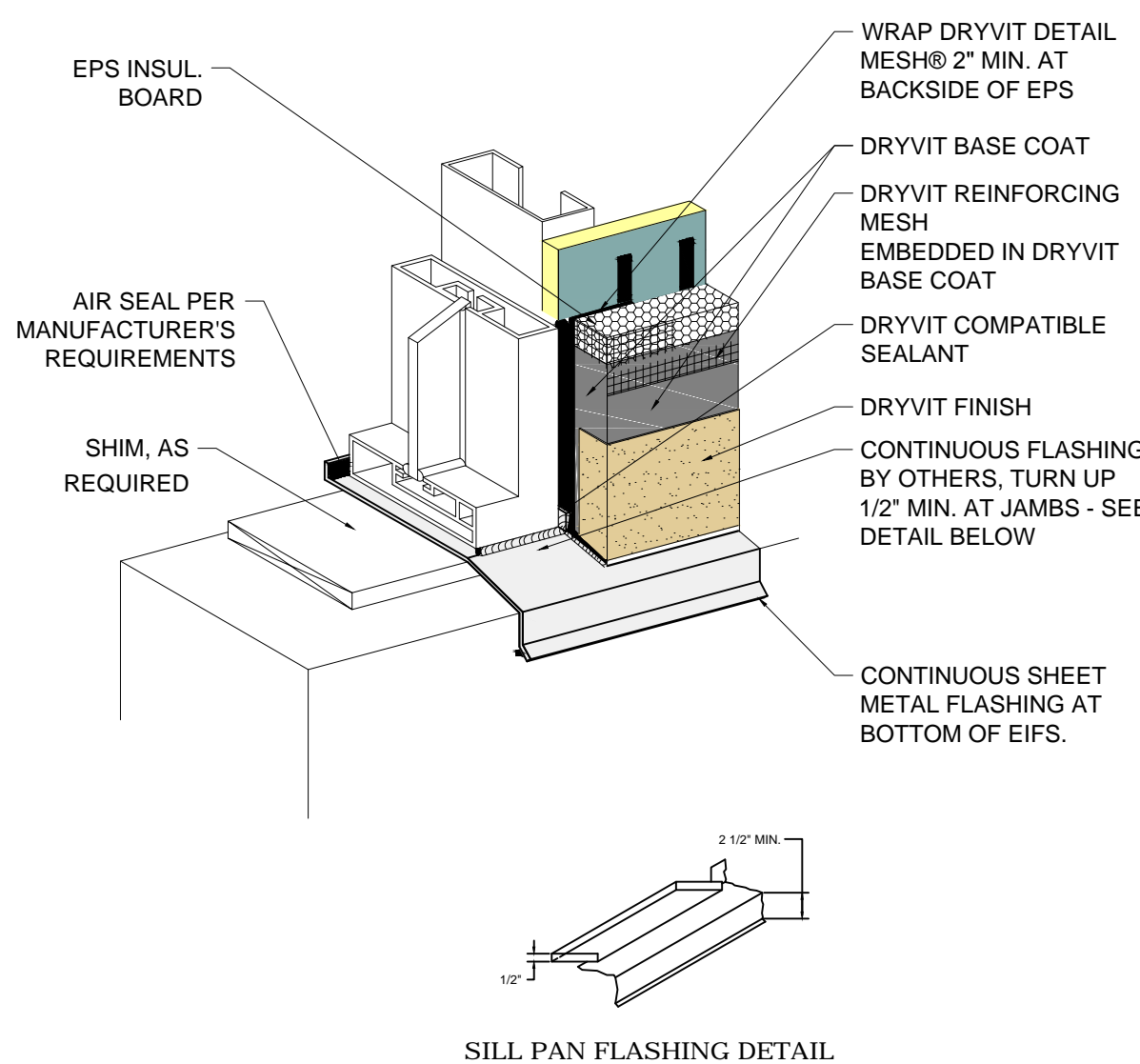
3 FLASHING INTEGRATION
- OPMD 0.0.05
CSW A10.1_NS



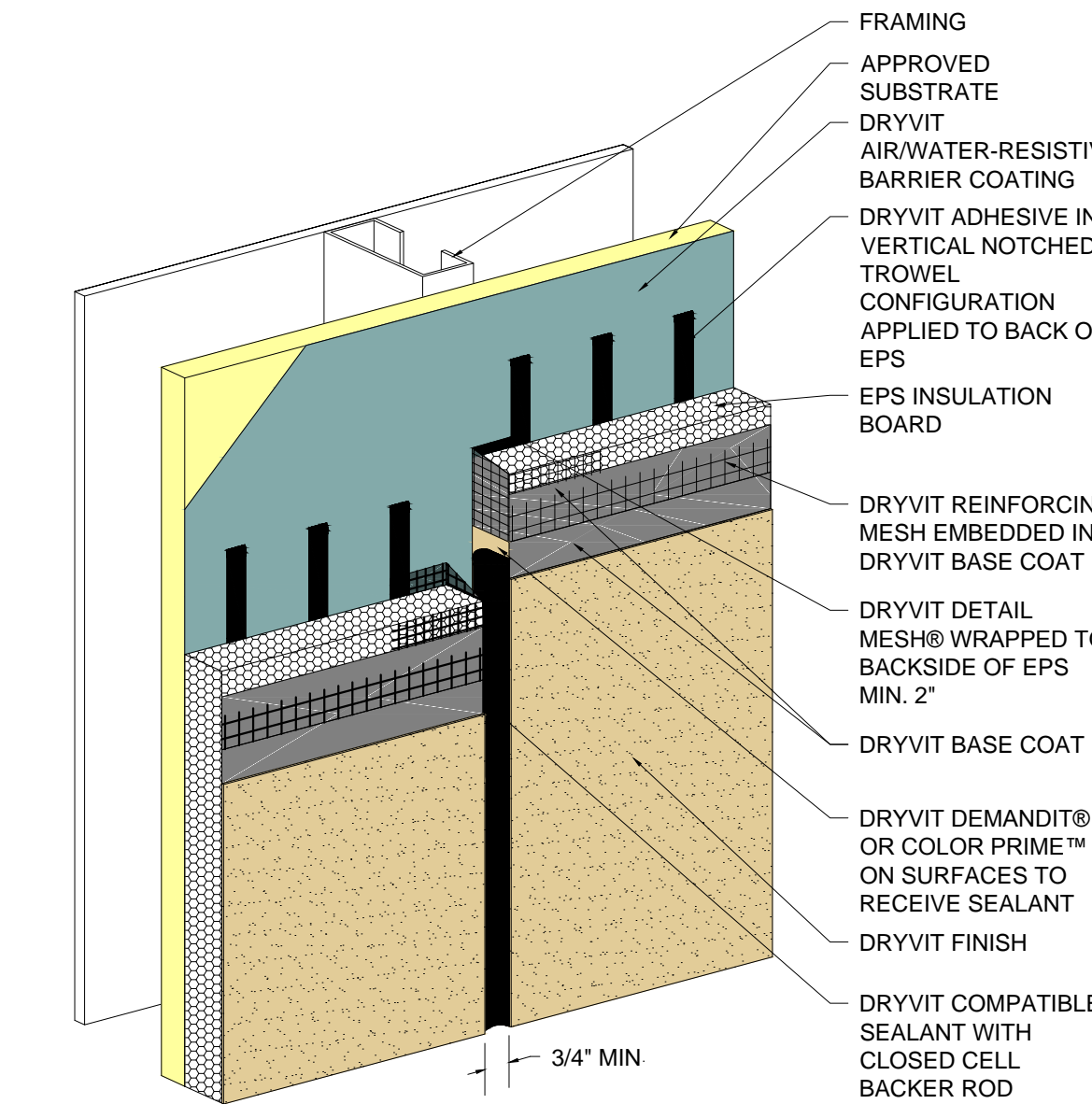
4 TERMINATION
- OPMD 0.0.10
CSW A10.1_NS



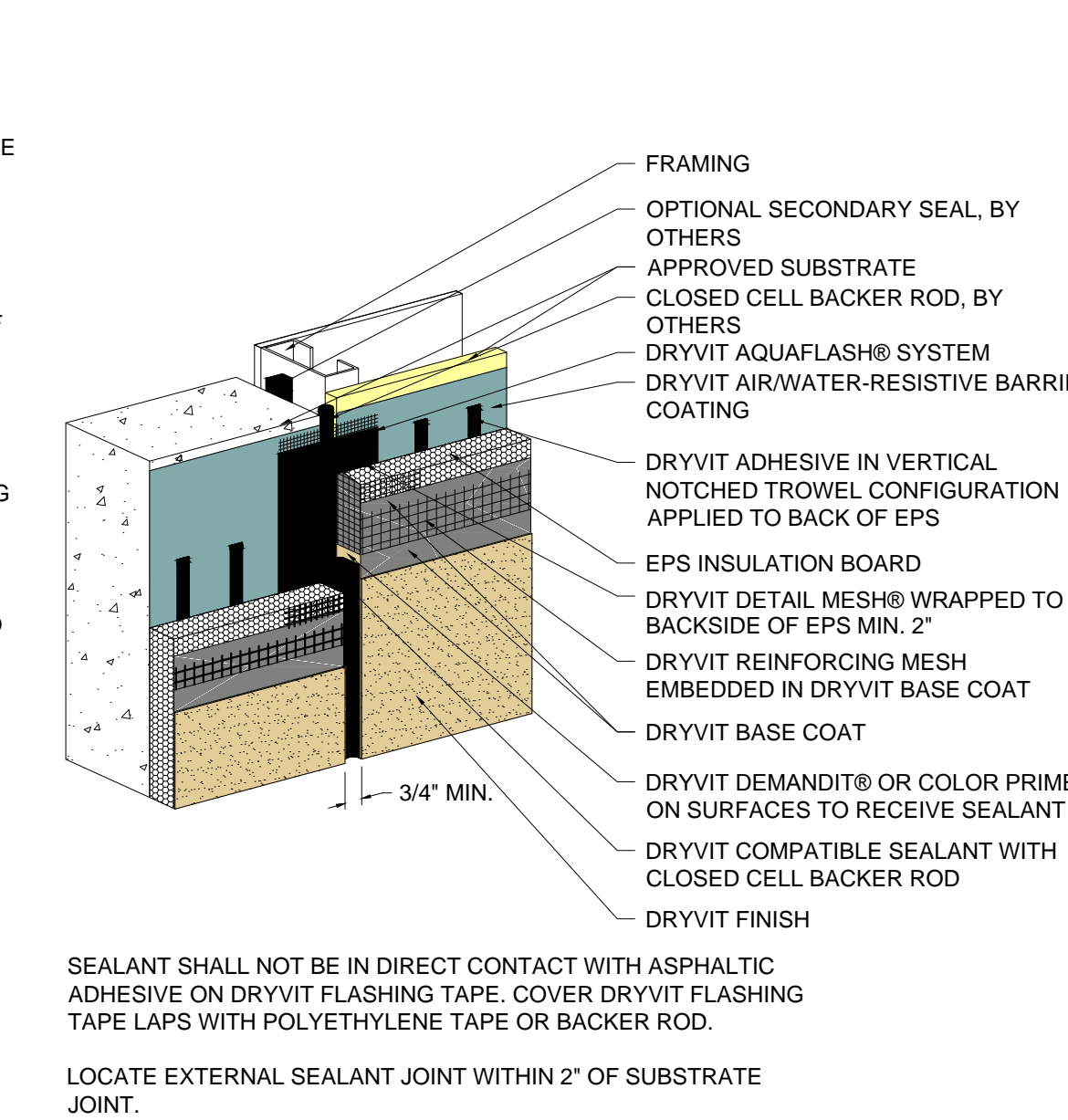
5 EPS PREPARATION
- OPMD 0.0.11
CSW A10.1_NS



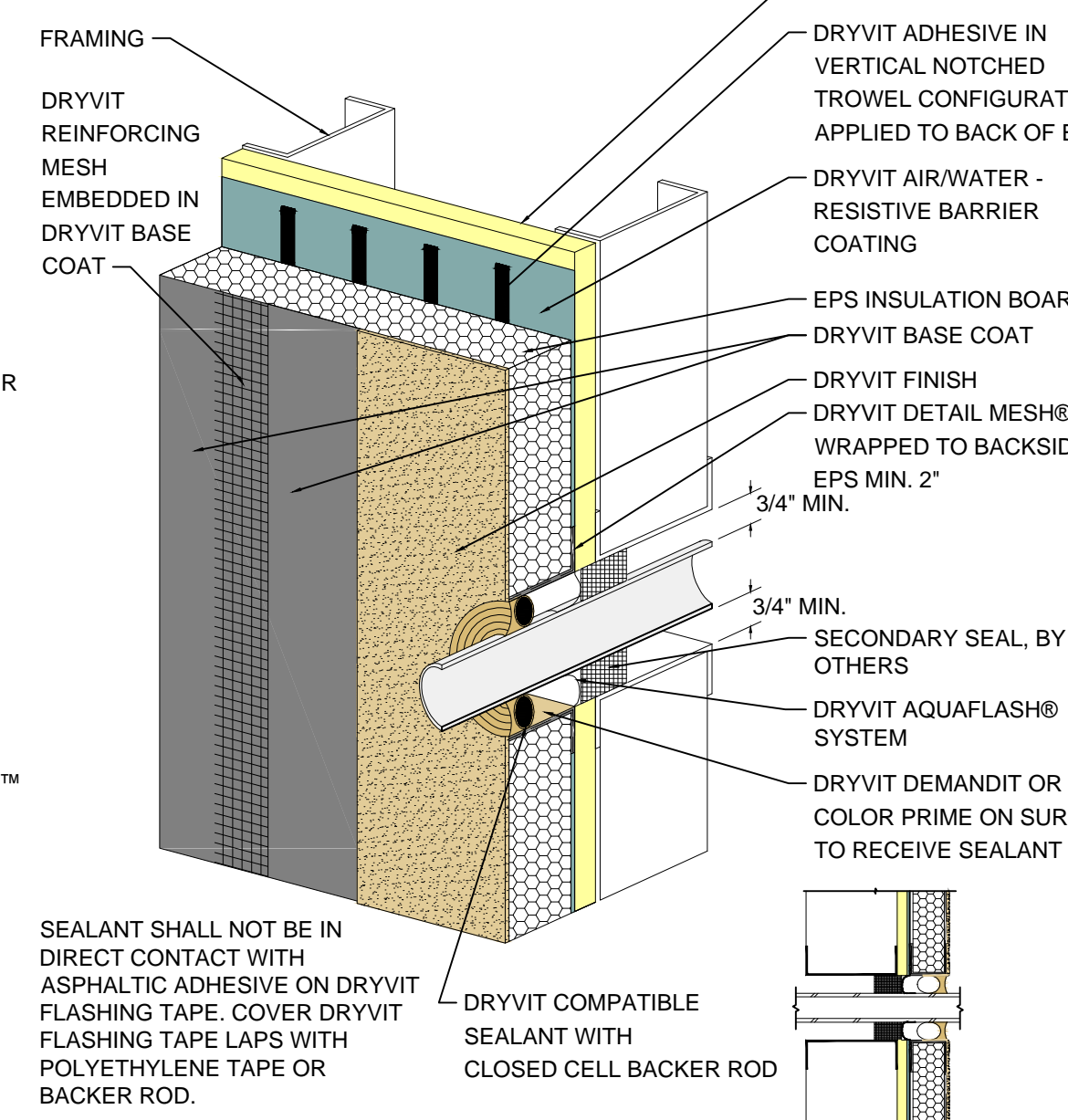
6 STOREFRONT SILL/ JAMB
- OPMD 0.0.12
CSW A10.1_NS



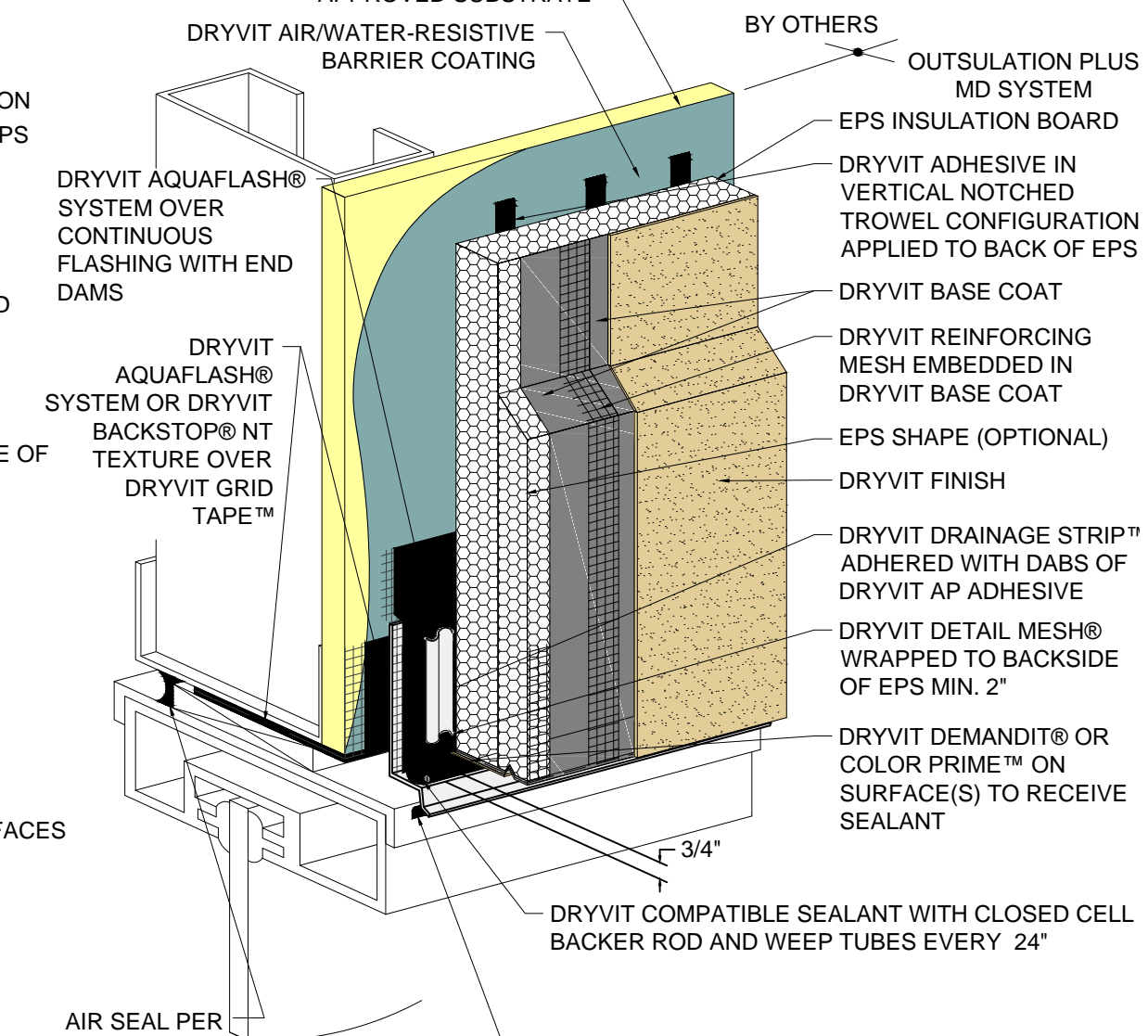
7 VERTICAL EXP. JOINT
- OPMD 0.0.32
CSW A10.1_NS



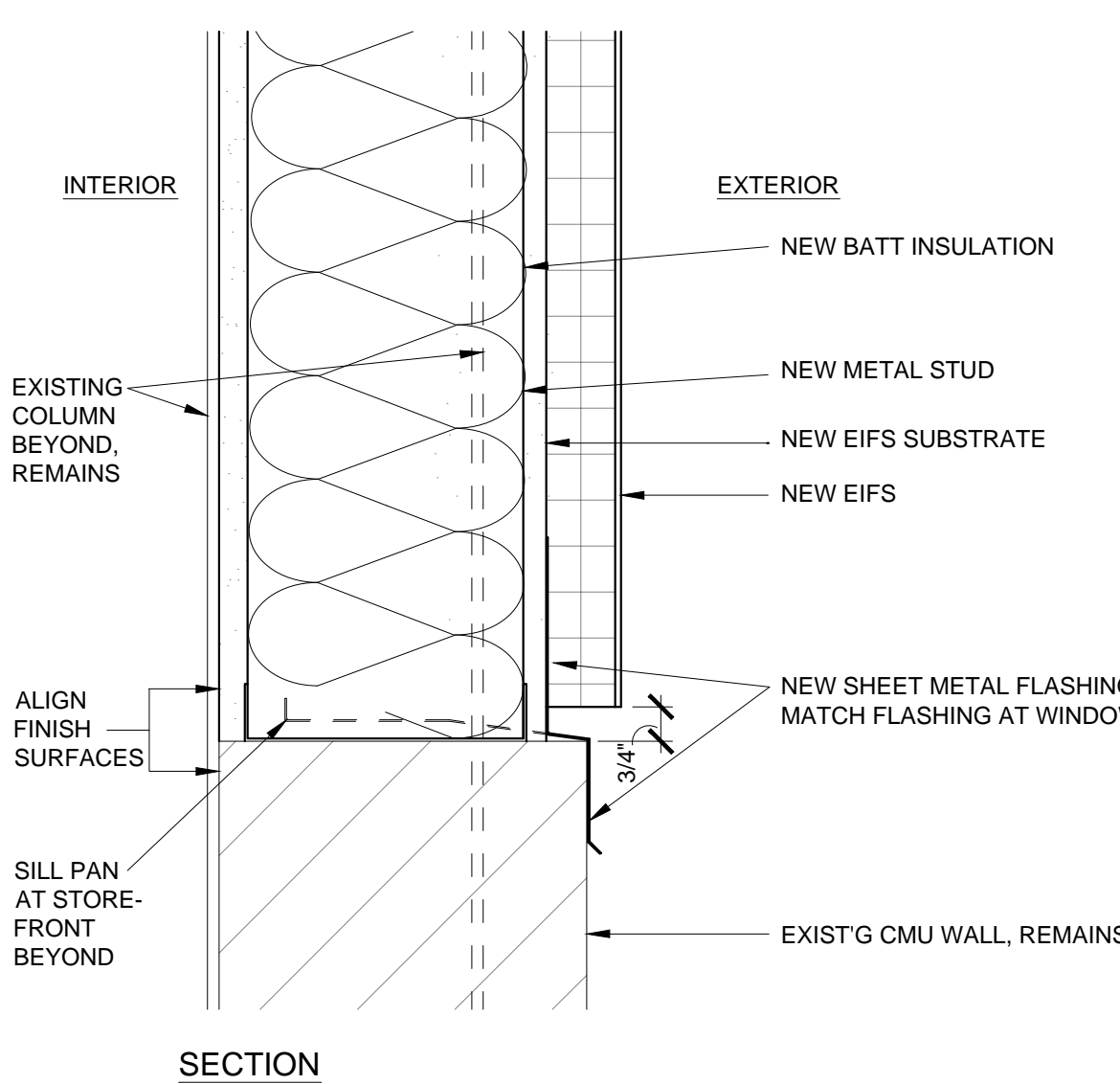
8 THOUGH WALL EXP. JOINT
- OPMD 0.0.33
CSW A10.1_NS



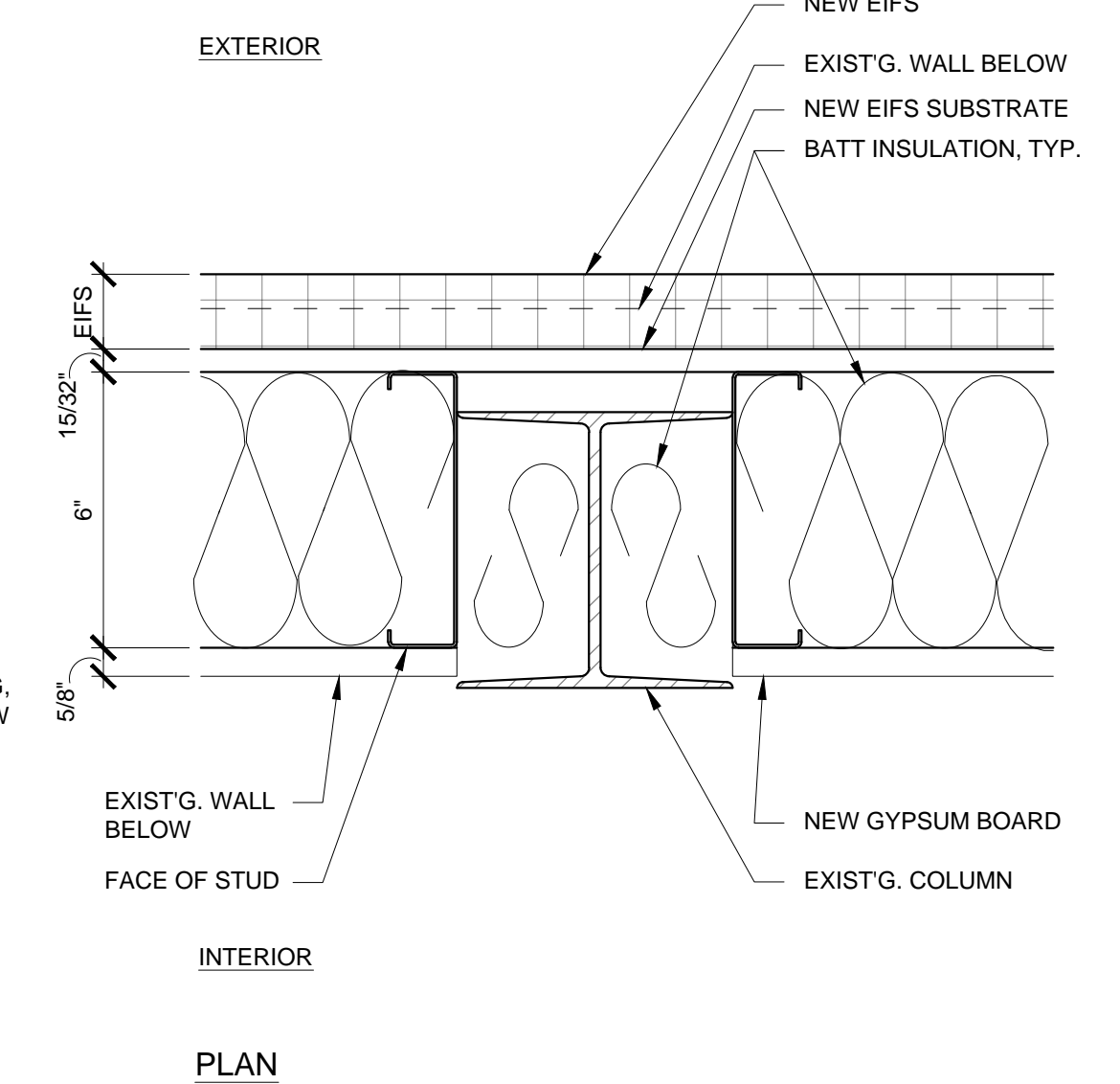
9 PENETRATIONS
- OPMD 0.0.38
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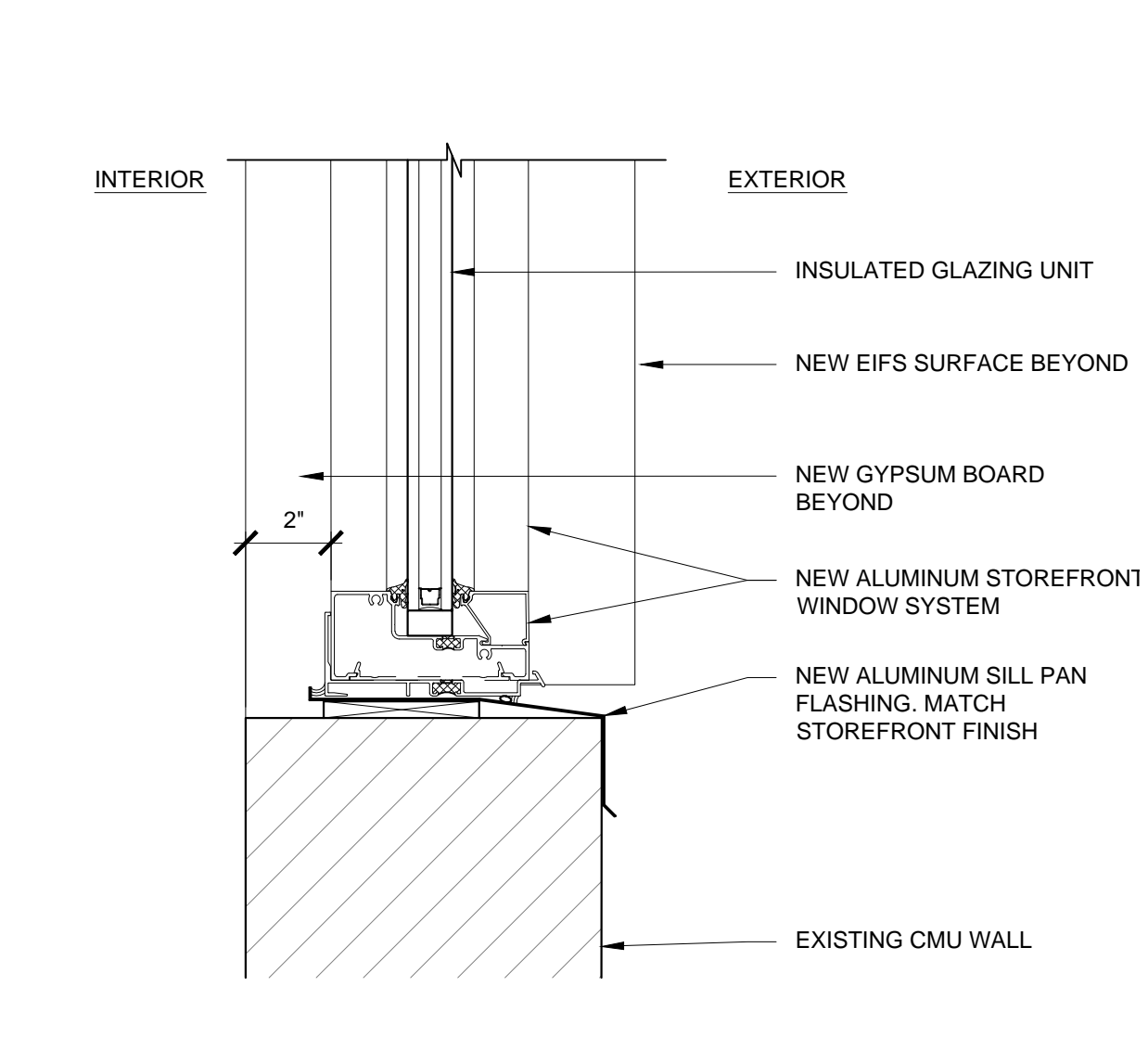
10 STOREFRONT HEAD
- OPMD 0.0.14
CSW A10.1_NS



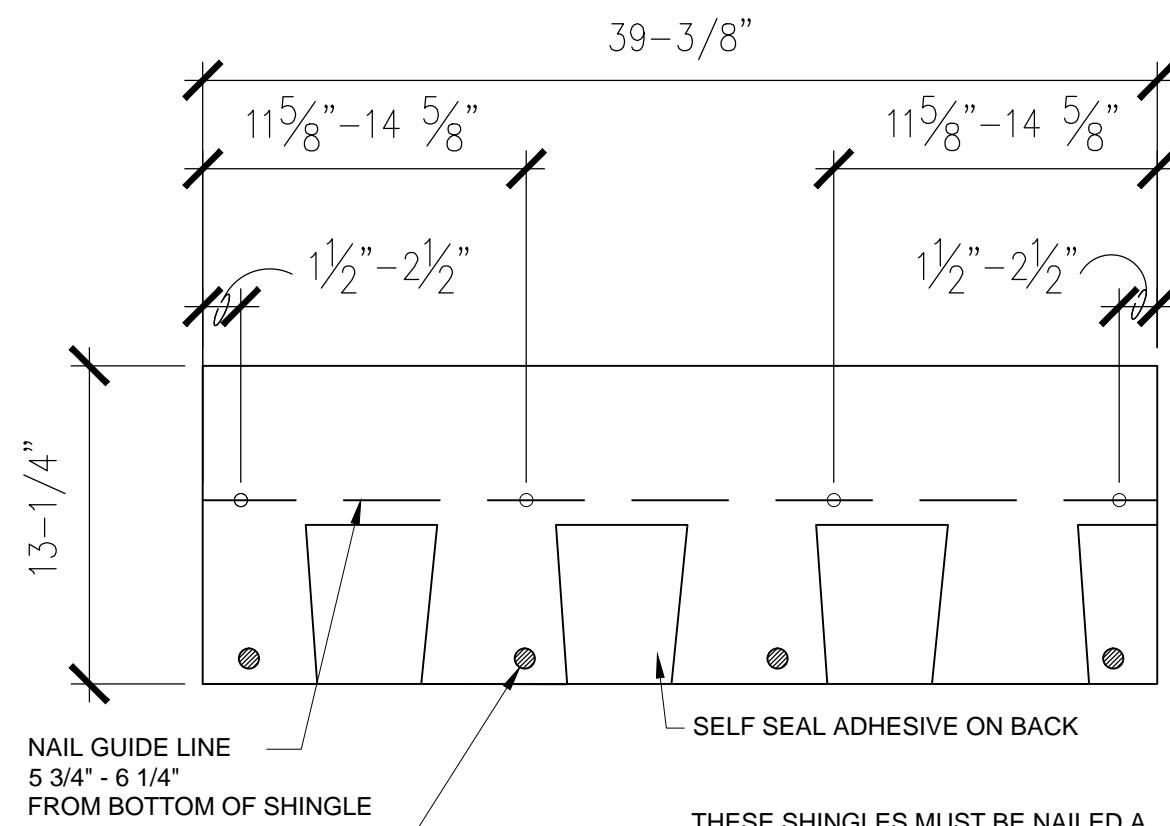
13 NEW WALL BUILDINGS A, B & C
NO SCALE
CSW A10.1_NS



14 NEW WALL BUILDINGS A, B & C
NO SCALE
CSW A10.1_NS



15 STOREFRONT SILL BUILDINGS A, B & C
NO SCALE
CSW A10.1_NS



THESE SHINGLES MUST BE NAILED A NOMINAL 6" FROM BOTTOM OF SHINGLE, ABOVE THE CUTOOTS, AS SHOWN. NAILS MUST NOT BE EXPOSED.

STANDARD NAILING PATTERN - FOUR NAILS PER SHINGLE

SHINGLE INSTALLATION:

START AT EITHER RAKE AND LAY IN EITHER DIRECTION

FIRST COURSE: START WITH FULL SHINGLE

SECOND COURSE: TRIM 6" OFF FIRST SHINGLE

THIRD COURSE: TRIM 11" OFF FIRST SHINGLE

FOURTH COURSE: TRIM 17" OFF FIRST SHINGLE

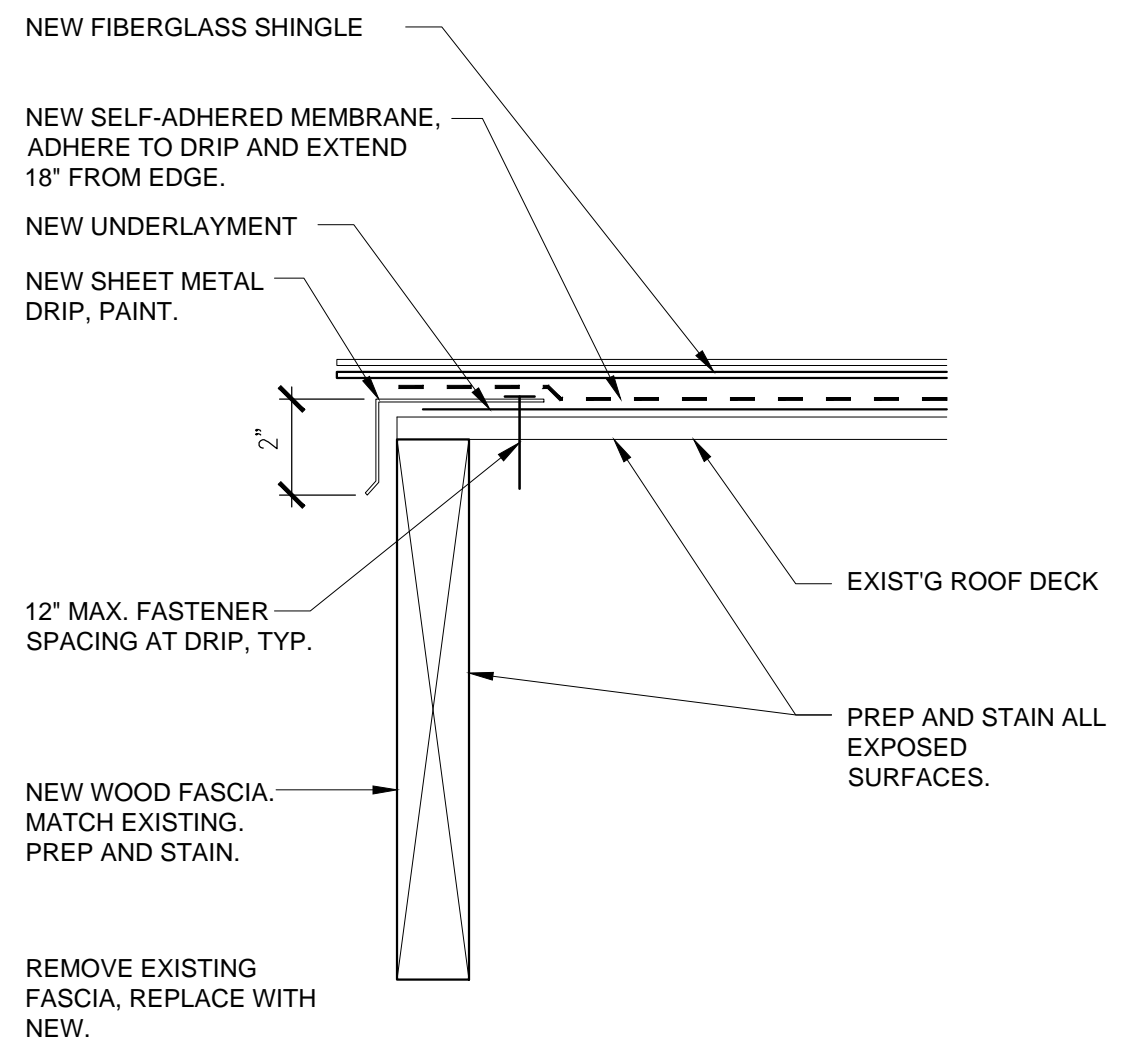
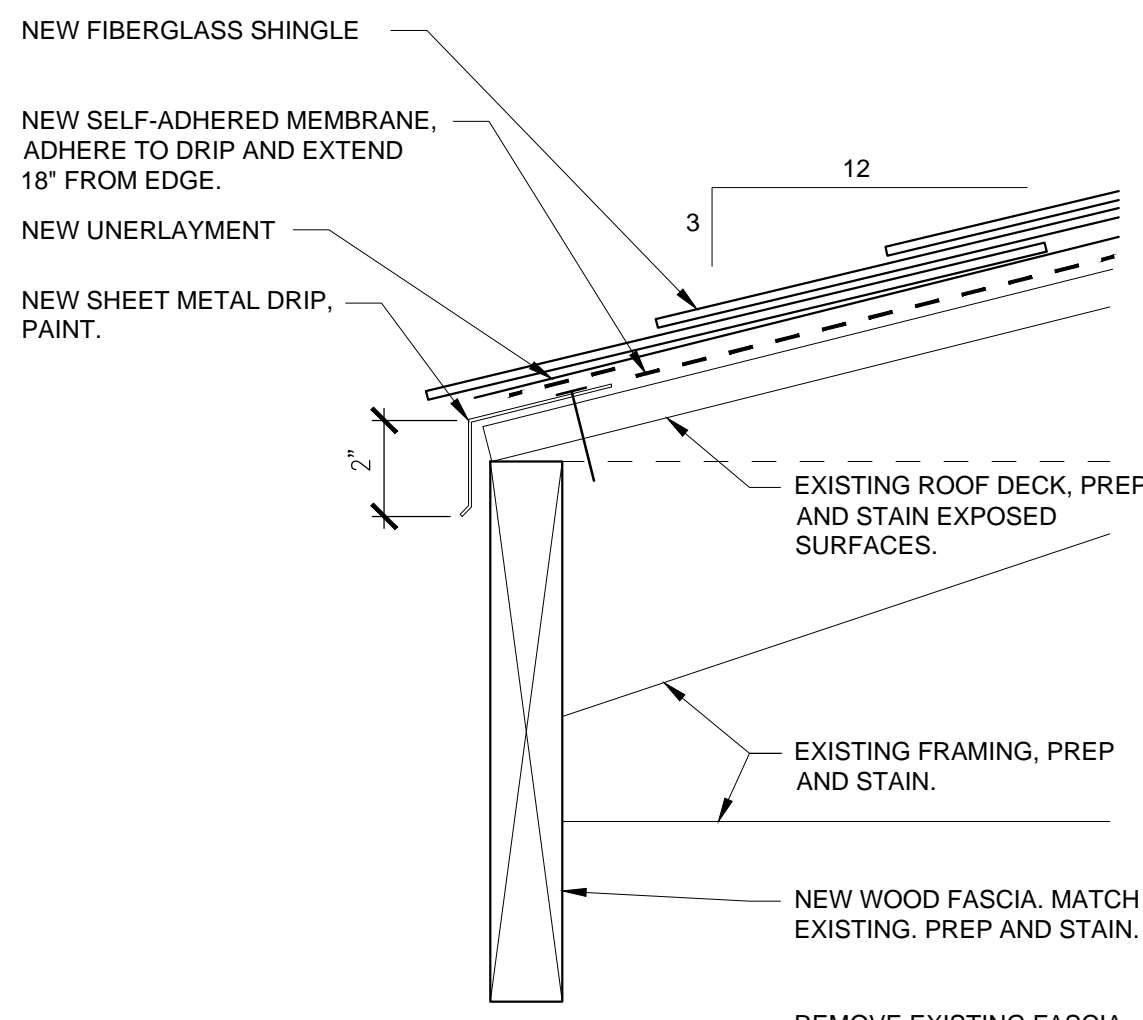
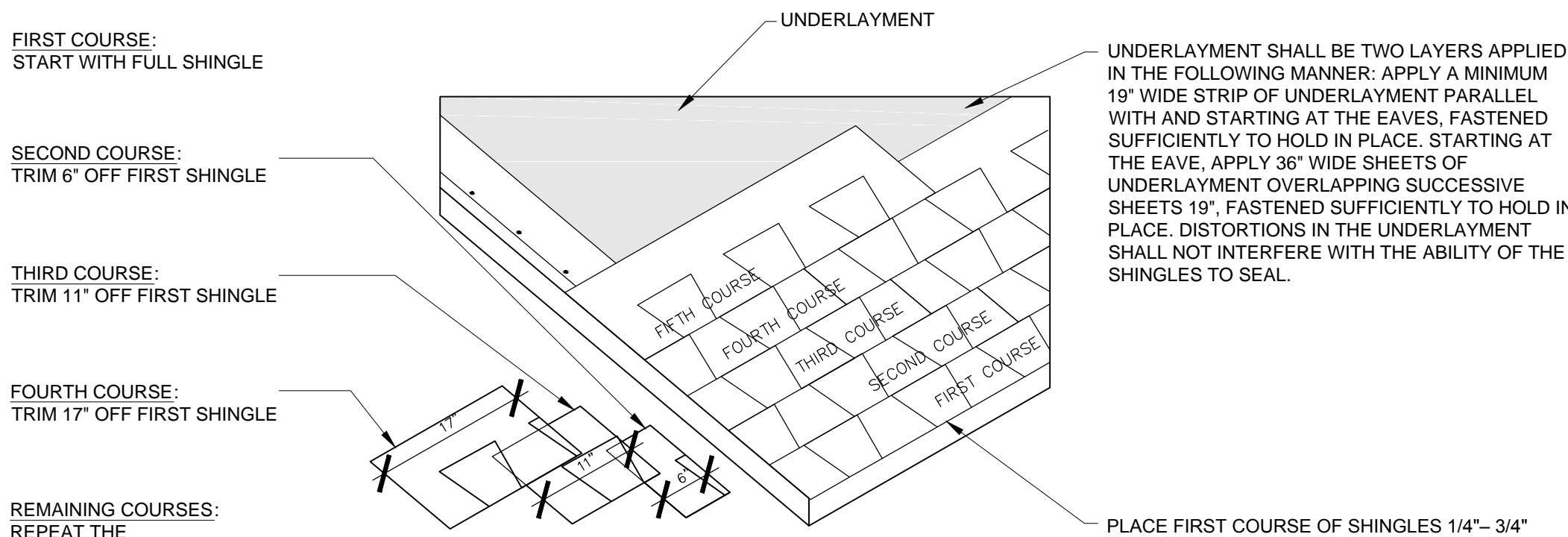
REMAINING COURSES: REPEAT THE 1ST - 4TH COURSE INSTRUCTIONS ON THE REMAINING COURSES, STARTING THE FIFTH COURSE WITH A FULL SHINGLE.

UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A MINIMUM 19" WIDE STRIP OF UNDERLAYMENT PARALLEL WITH AND STARTING AT THE EAVES. FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT OVERLAPPING SUCCESSIVE SHEETS 19". FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.

PLACE FIRST COURSE OF SHINGLES 1/4" - 3/4" OVER EAVE AND RAKE EDGES, COVERING STARTER COURSE OVERHANG, TO PROVIDE DRIP EDGE.

NOTES:

1. CONTINUE EACH COURSE WITH WHOLE SHINGLES.
2. STRIKE A CHALK LINE ABOUT EVERY 6 COURSES TO CHECK PARALLEL ALIGNMENT WITH EAVES.



1 SHINGLE ATTACHMENT

1 1/2" = 1'-0"

SVHS A3.1_1-112

2 SHINGLE INSTALLATION

NO SCALE

SVHS A3.1_1-112

4 ROOF EAVE

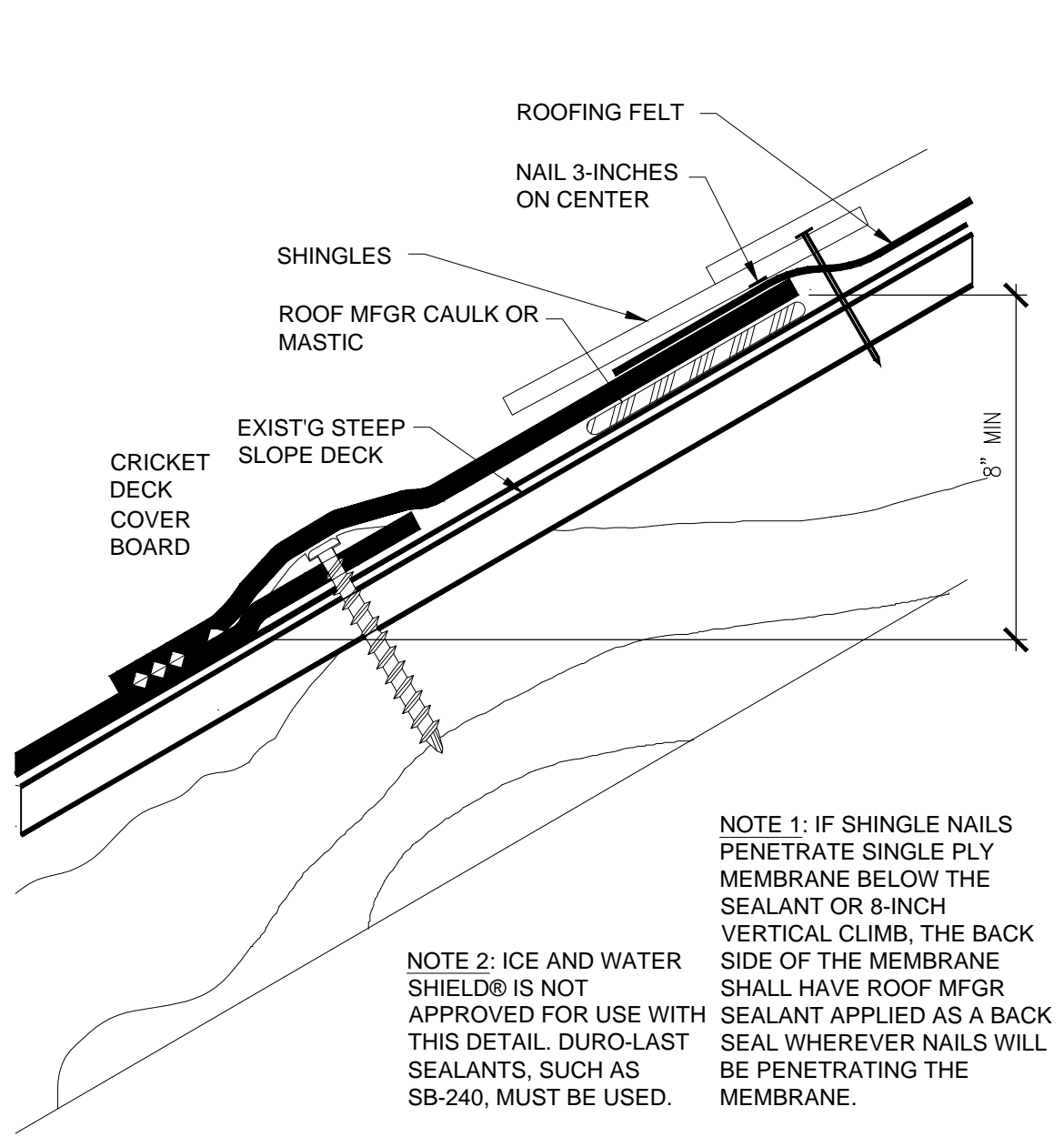
3" = 1'-0"

SVHS A3.1_3

5 ROOF RAKE

3" = 1'-0"

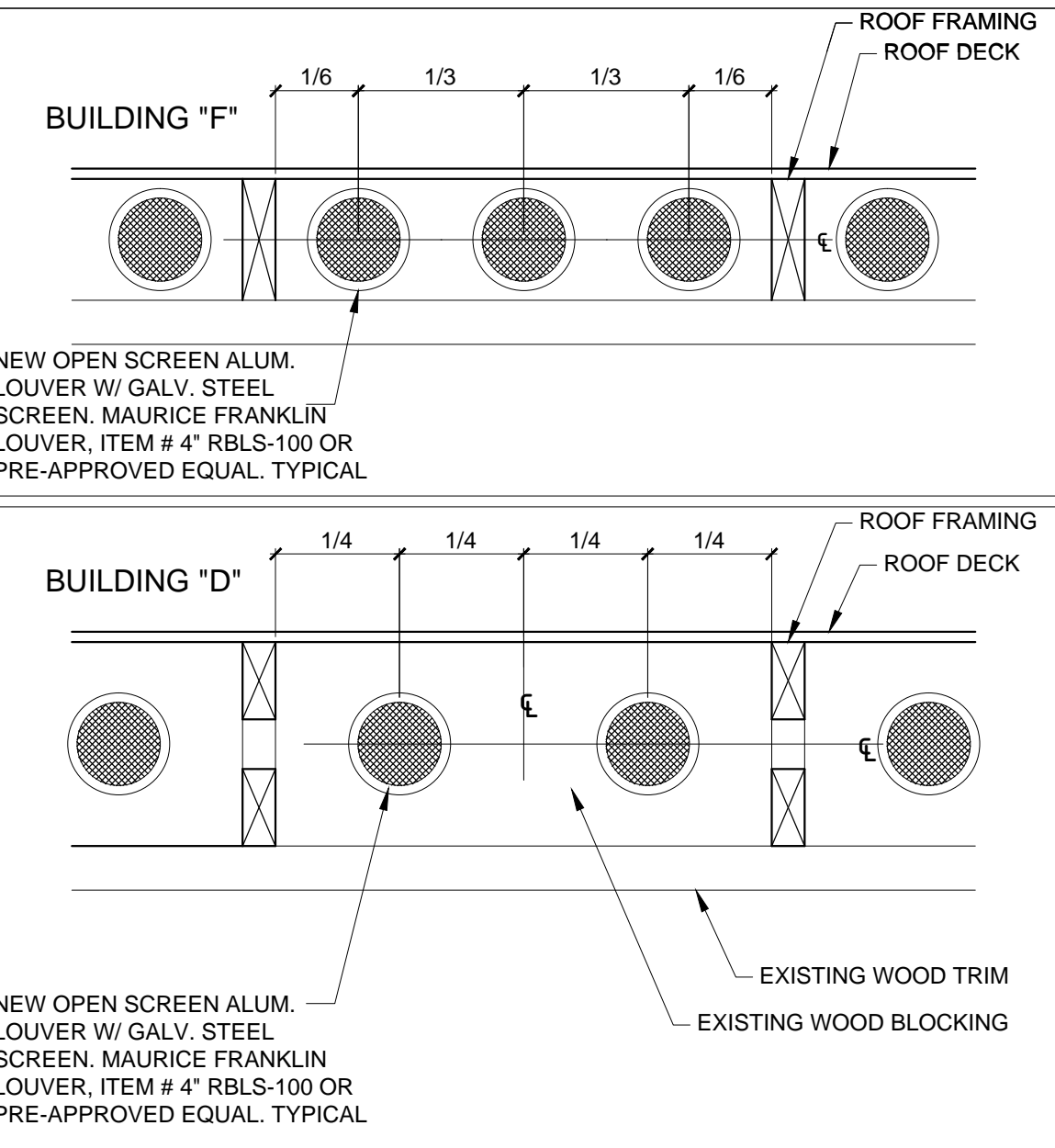
SVHS A3.1_3



6 TIE-IN MEMBRANE TO SHINGLE

3" = 1'-0"

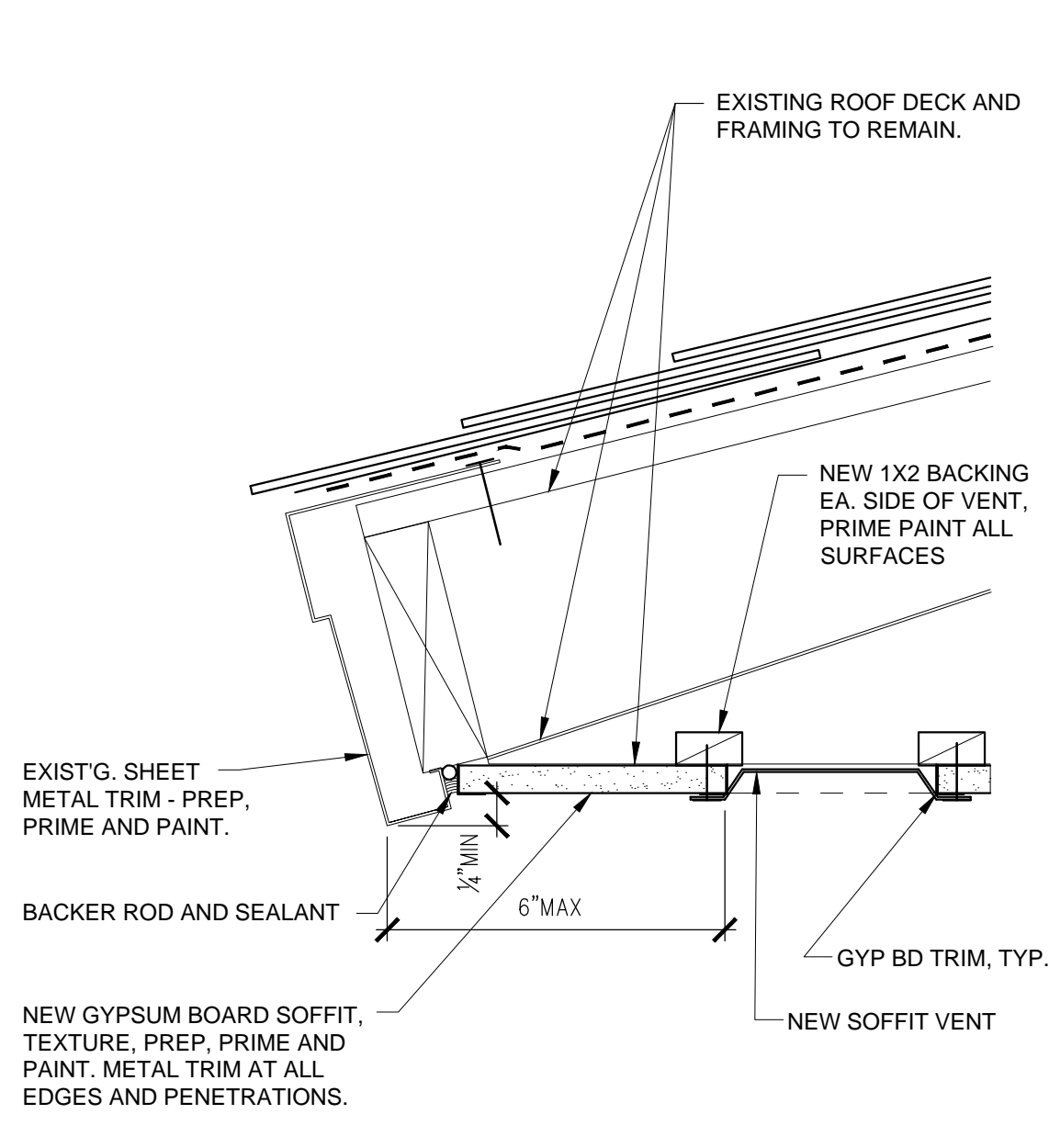
SVHS A3.1_3



7 EAVE LOUVER

1 1/2" = 1'-0"

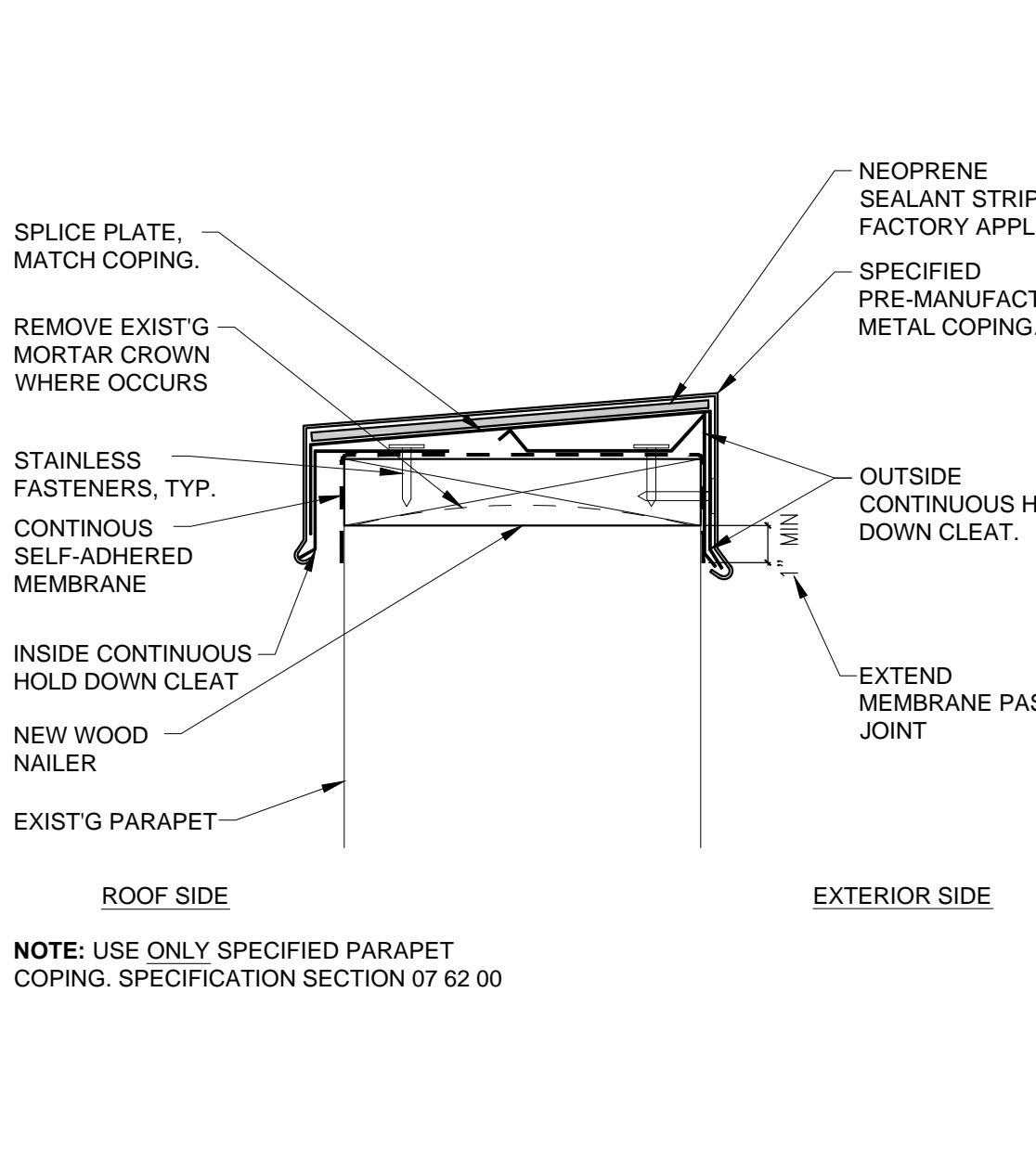
LES A3.1_1-112



8 EAVE SOFFIT

3" = 1'-0"

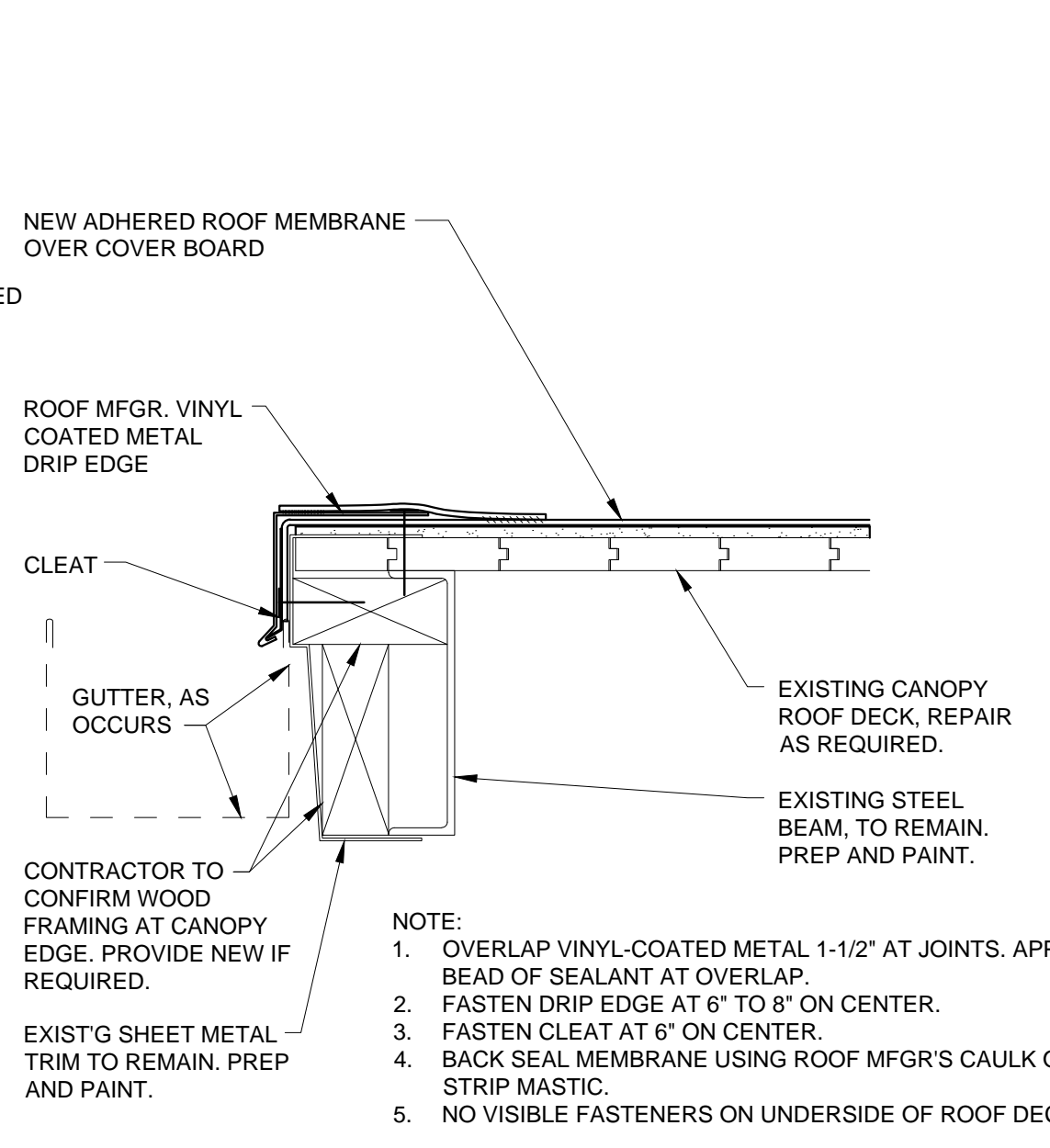
SVHS A3.1_3



9 PARAPET COPING

3" = 1'-0"

JHSA10.4



10 CANOPY ROOF EDGE

3" = 1'-0"

SVHS A3.1_3

6 TIE-IN MEMBRANE TO SHINGLE

SVHS A3.1_3

7 EAVE LOUVER

LES A3.1_1-112

8 EAVE SOFFIT

SVHS A3.1_3

9 PARAPET COPING

JHSA10.4

10 CANOPY ROOF EDGE

SVHS A3.1_3

6 TIE-IN MEMBRANE TO SHINGLE

SVHS A3.1_3

7 EAVE LOUVER

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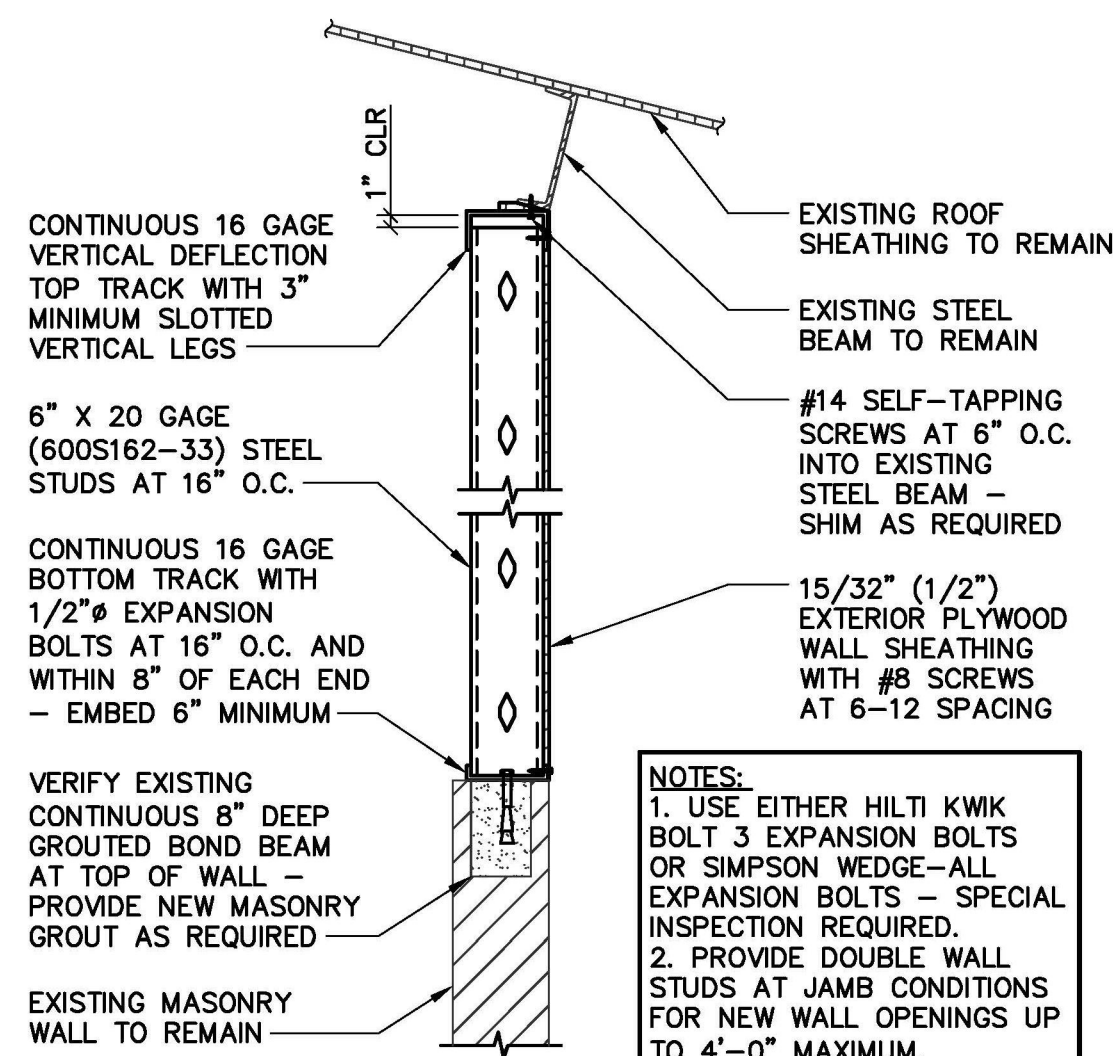
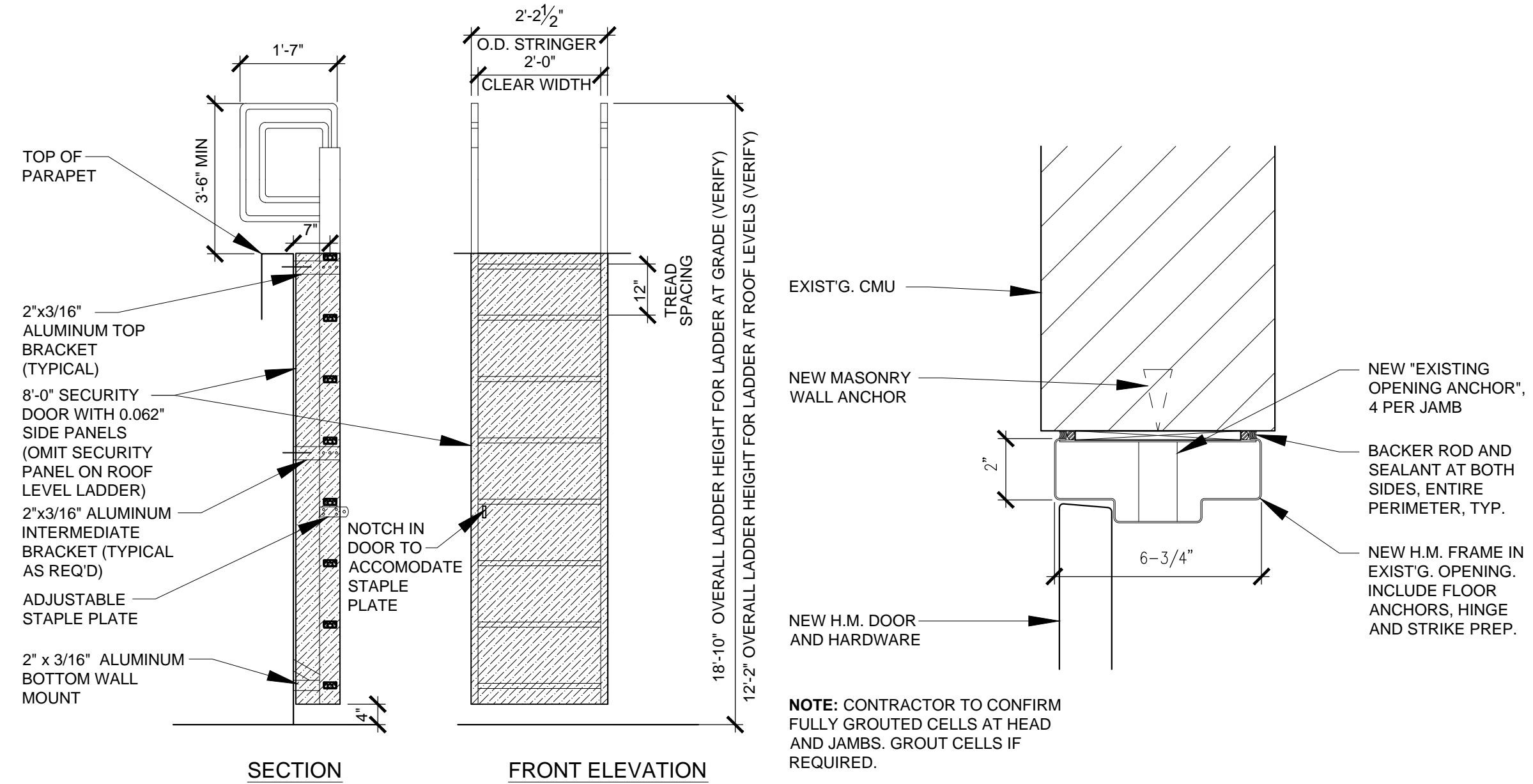
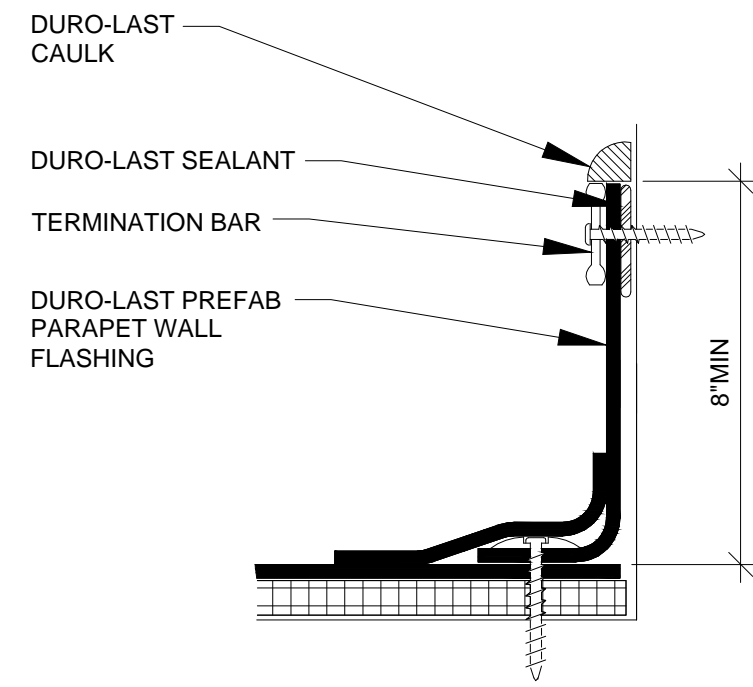
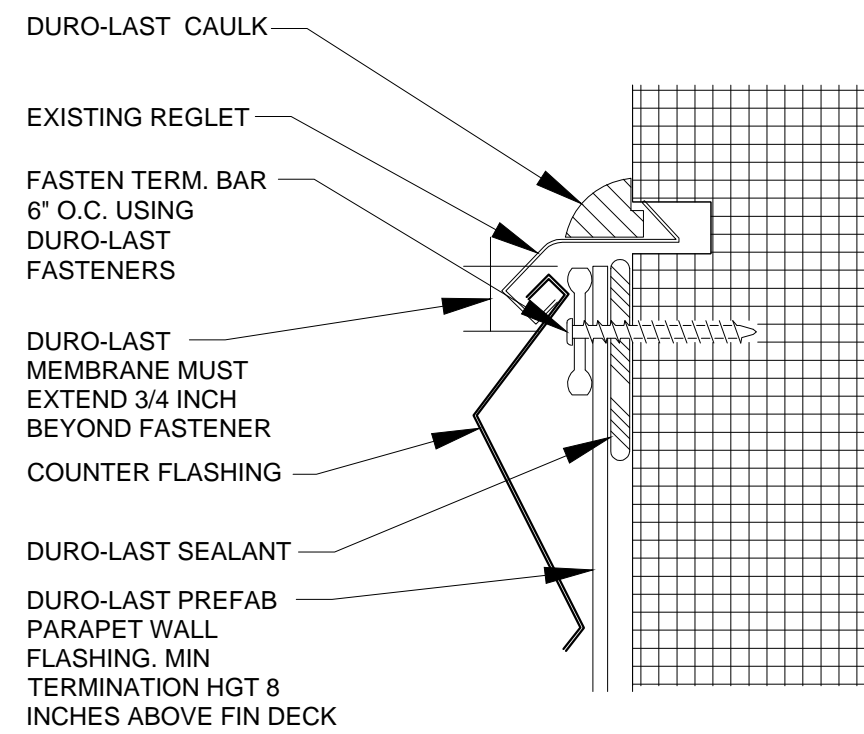
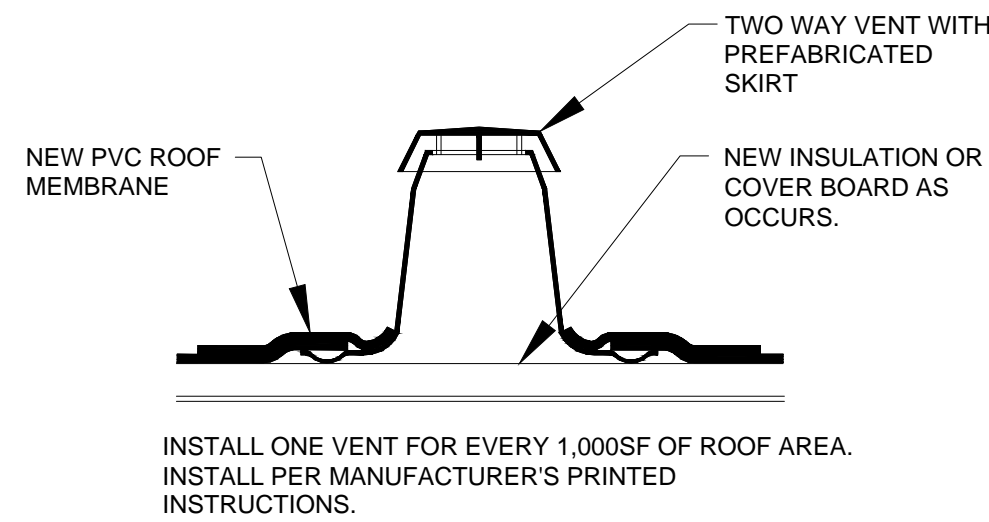
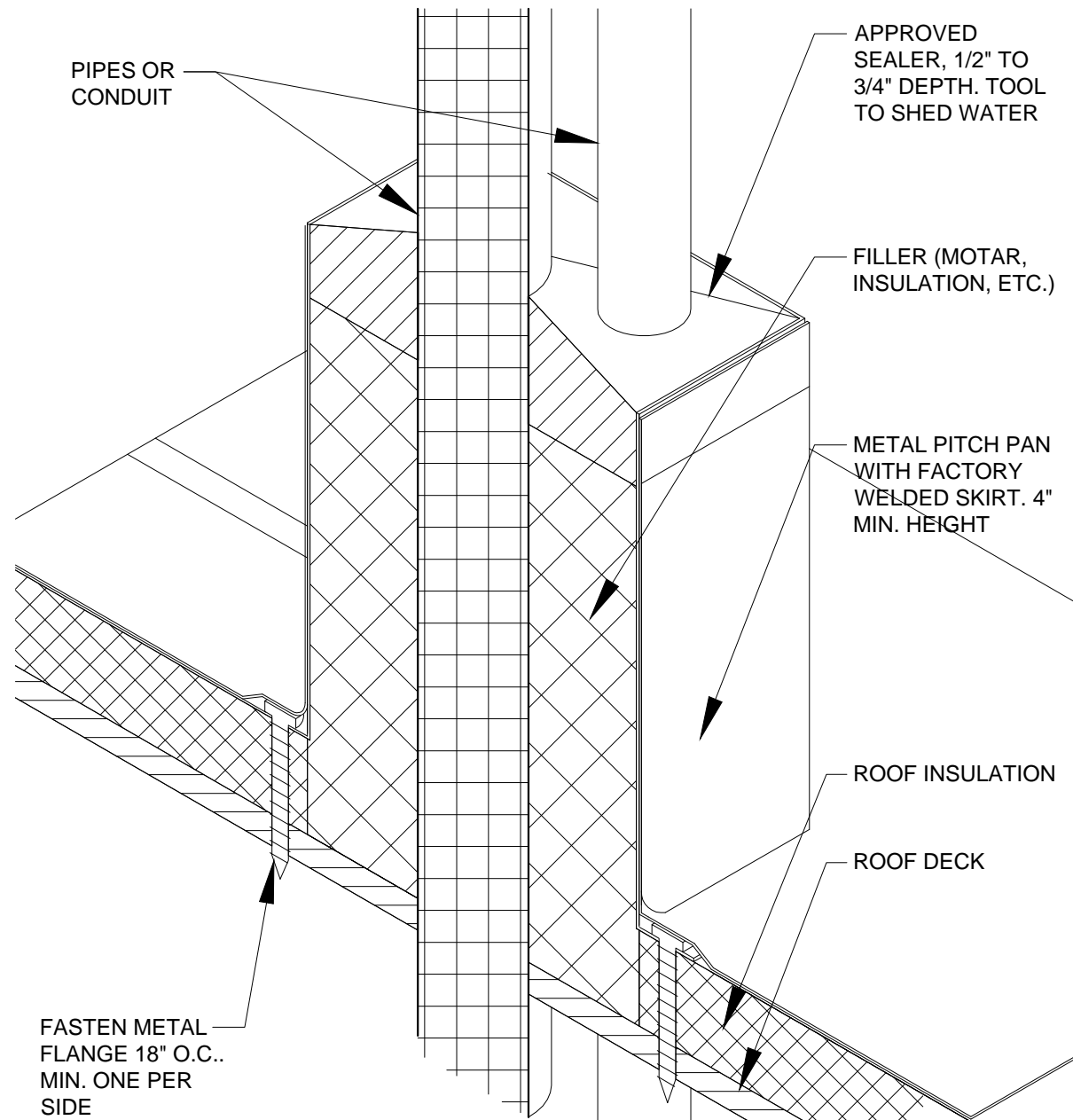
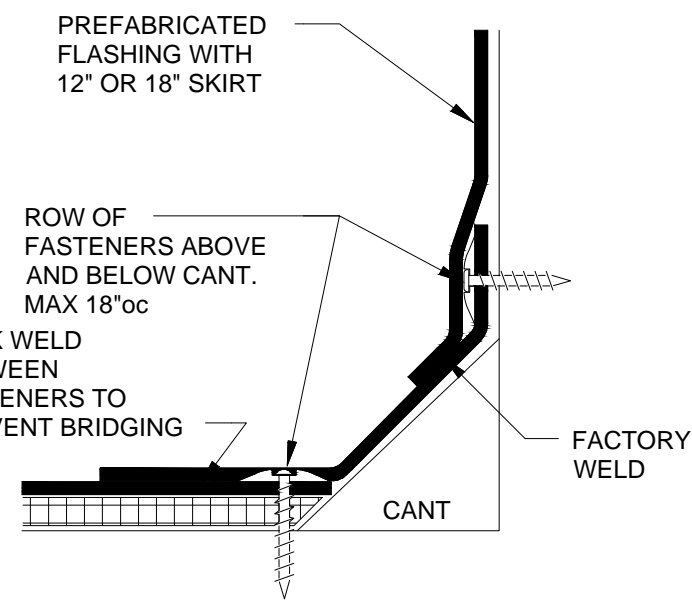
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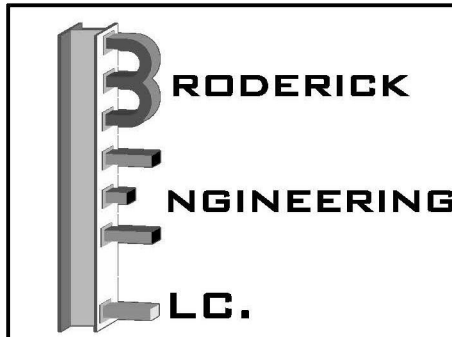
10 CANOPY ROOF EDGE

1 CANT AT WALL 3" = 1'-0" 2 PENETRATION 3" = 1'-0" 3 VENT 3" = 1'-0" 4 COUNTER FLASHING 3" = 1'-0" 5 TERMINATION AT WALL 3" = 1'-0"

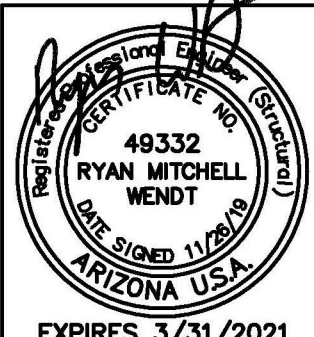


TYPICAL EXTERIOR STEEL STUD INFILL WALL

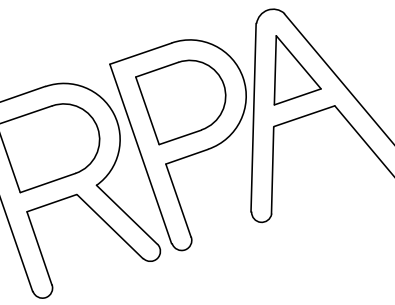
GURIEL PRIMARY SCHOOL
1000 NORTH CURIEL STREET
ELOY, ARIZONA 85131



DATE: 11.26.19 SHEET
DWN: JG CHK: RMW
BE JOB NO. 19266
BRODERICK ENGINEERING LLC.
6859 E. REMBRANDT AVE., SUITE 211 TUCSON, AZ 85741
PH 480-926-6333 PH 520-887-9416
FAX 480-926-3999 FAX 520-887-9486



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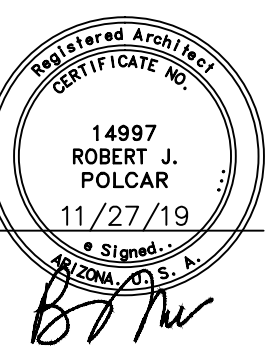


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Revision	Revision Date
Project number	110411103-9999-008-BRG
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Drawn by	KS
Checked by	BP
Sheet Size	ARCH D 24"x36"

A10.3
DETAILS