	<b>Eloy Elementary School District, #11</b> Amendment #4		1011 N. Sunshine Blvd. Eloy, AZ 85131 (520) 466-2100
	IFB: 17-01-17 PROJECT: SFB Weatherization and Roof Restoration Projects at Two Schools	Page 1 of 8	

January 9, 2017

This amendment is released to all interested parties:

1. The District is giving an extension of the due date for your bid responses. The new due date and time is Monday, January 23, 2017 at 11:00 AM. New forms are included in this amendment.

2. Project #1 Eloy Junior High School updated drawing



EloyJuniorHigh\_010917.pdf

3. Project #2 Eloy Junior High GYM updated drawing



EloyJHSGym\_010917.pdf

4. Project #2 Eloy Junior High GYM

- A. Regarding new Lay-in ceiling tiles: HVAC Contractor to remove all existing HVAC Grilles (supply & return) at Gym/MPR area, and replace them with new 24"x 24" lay-in ceiling tiles, approx. 64 total. Coordinate new tiles model with Architectural specs.
- B. Regarding exist. Electrical conduits: Per Elect. Engineer "Exist. Electrical Conduits serving demo HVAC shall be removed". See E-1 demo notes.
- C. Regarding AC condensate drains. New 3/4" Condensate Drains (Type "M" Copper) from Rooftop units AC-1 to AC-6, shall run exposed on roof to nearest roof drain. Total piping length is approx. 120 feet. Paint exposed piping w/Elastomeric white, and provide "Dura-block" roof supports or equal.
- D. Regarding new thermostats & C0-2 wiring: In lieu of exposed conduit at wall, wire-mold is an accepted equal.
- E. Regarding new thermostats & C0-2 Covers: Cage protection around new wall mounted thermostats and CO-2 sensors shall be provided.
- F. Regarding Gym's floor: During construction, HVAC Contractor shall protect Gym's wood floor areas affected by new work with plywood covering.
- G. Regarding new AC's Roof-curbs: HVAC contractor to provide and install 6 new roof-curbs per HVAC plans, and coordinate w/structural plans.
- H. Regarding AC-1 & AC-2 Fabric-Duct Location: For AC-1 & AC-2 revised Fabric-Duct location below ceiling, see attached ADD-1 sketch.
- I. A revised drawing is attached.



ELOY JHS GYM -HVAC  
Amendment #4.pdf


5. Project #3 Intermediate School updated drawing



EloyIntermediate\_010917.pdf

6. The District has received a number of submittals:


Product	Action
Johns Manville, RetroPlus Roof Board	Approved
DynaMaxS	Approved
DynaMax FR Plus	Approved

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January 9, 2017

PermaFlash	Approved
TopGard	Approved
ICP Adhesives; Polyurethane Foam Insulation Adhesive	Approved
Polyglass USA	Approved
Elastoflex SA P	Approved
Elastoflex SA V	Approved
Polyglass Flashing	Approved
Taper Polyisocyanurate	Approved
PG 700 Roof Coating	Approved

7. Questions received and their answers:
  - a. What is the construction of roof decks?
    - i. At the Junior High, the Walkway, Kitchen and Cafeteria are concrete tees, the Locker Room is a plywood wood deck.
    - ii. At the Junior High Gym the deck is plywood.
  - b. Are you putting any insulation above deck at the Gym?
    - i. No insulation above deck at the Gym.
    - ii. 1-1/2" insulation board above the deck at the Junior High.
  - c. What UL and FM codes are required?
    - i. Refer to project specifications for code requirements.
  - d. Are you requiring any title 24 requirements?
    - i. Not for these projects.
8. Acknowledge this Amendment on forms provided.
9. All other terms and conditions remain the same.
10. End of Amendment #4.

	<b>Eloy Elementary School District, #11</b> Amendment #4 Bid Submittal		1011 N. Sunshine Blvd. Eloy, AZ 85131 (520) 466-2100
	IFB: 17-01-17 PROJECT: SFB Weatherization and Roof Restoration Projects at Two Schools	Page 3 of 8	

## Bid Submittal for General Contracts to complete three SFB Weatherization and Roof Restoration Projects at Two Schools

Bid submittal of \_\_\_\_\_,  
 (Firm's Name)

a corporation organized and existing under the laws of the State of \_\_\_\_\_; a partnership  
 consisting of \_\_\_\_\_; an individual trading as

\_\_\_\_\_  
 (Name)

PROJECT: The three projects involve SFB Weatherization and Roof Restoration at Two Schools as per the specifications of this solicitation and the detailed stamped drawings, specifications at Eloy Intermediate School and Eloy Junior High School.

TO: **Eloy Elementary School District, #11 (Owner)**

- In compliance with your Notice Inviting Sealed Bids and Instructions to Bidders, the undersigned hereby offers to furnish the materials and perform the Work for the Owner's Project designated above in strict accordance with the Terms and Conditions, Specifications, Schedules, Drawings and all other pertinent Contract Documents, and agrees, upon written notice of acceptance of this Bid at any time within fifteen (15) days after the date of opening of the bids, that Bidder will execute the Contract in accordance with the Bid as accepted, and give bond, as sufficient surety, in the amount of one hundred percent (100%) of the Contract Amount, within ten (10) working days after a Notice of Award is presented for the following sums:

Base Bids for:	
A. Eloy Junior High School – Buildings Project 1	\$
B. Eloy Junior High School Gym– Building Project 2	\$
C. Eloy Junior High School Gym HVAC	\$
D. Eloy Junior High School Gym Total (B+C)	\$
E. Eloy Intermediate School-Building Project 3	\$
This is an SFB project and the following items are <b>to consider the unknowns</b> that may or may not be utilized through a change order process. They are to be included with the total base bid. Additions and subtractions will be determined upon project completion.	
F. 50 sq feet repainting of CMU parapet wall (touchup) at \$ _____ per sq. ft. installed	\$
G. 10 lineal ft. of surface mounted reglet installed at \$ _____per lineal ft.	\$
H. 10 lineal ft. of counterflashing installed at \$ _____per lineal ft.	\$
I. 1 collector heads to match existing at \$ _____per each	\$
J. 1 downspout to match existing installed at \$ _____per lineal ft.	\$
K. Replace 10 lineal feet of fascia, installed at \$ _____per lineal ft.	\$
L. Replace 1 sheet of sheathing, installed at \$ _____/per each	\$

Base Bid equals (A+ D+E+F+G+H+I+J)	\$
<hr style="border: 0; border-top: 1px solid black; margin-bottom: 10px;"/> _____ dollars for the work at Eloy Elementary School District.	

2. Enclosed is bid security as required consisting of \_\_\_\_\_ in the amount of \_\_\_\_\_ (\$\_\_\_\_\_). (Not less than ten percent (10%) of the proposed Contract Amount, including all additive alternates.)

3. The District and SFB are asking for a discount if you are lowest responsive and responsible vendor for more that one of the three project s contained in this solicitation. This is meant at harnessing the volume of these jobs for the savings of staffing, consolidation of trades to the benefit of SFB and the general public.

Number of Projects Awarded	Discount off the Bottom Line Bid Total
Two	%
Three	%

4. The undersigned hereby agrees that the above Base Bid includes a Cash Allowance of Zero and No/100 (\$0): If there are any funds remaining in the Cash Allowance after the Project has been fully completed, then upon final acceptance of the Project, the Contract Amount shall be reduced by the funds so remaining.

5. It is understood and agreed that the work under the Contract Documents shall be commenced by the undersigned Bidder, if awarded the Contract for the Project, on the date specified as the Start Date in the Notice to Proceed issued by the Owner in the manner specified in the Contract and General Conditions, and shall be completed by the Contractor by sunset, on the 100th day following the notice to proceed. Substantial completion shall be reached by sunset on the 90th day after notice to proceed. If the Work is not completed by these dates, then the undersigned Bidder shall pay the Owner the amount of **one hundred and No/100 Dollars (\$100.00) per day** as liquidated damages.

6. The undersigned Bidder hereby acknowledges receipt of the following Amendment, if any:

Amendment No.	Date
One	_____
Two	_____
Three	_____
Four	_____
_____	_____

7. The undersigned Bidder offers the following workmanship warranty:


8. The undersigned Bidder has attached the product manufacturer warranty information.

9. The undersigned Bidder understands that the Owner reserves the right to reject any or all Bids or to waive any formality or technicality, as determined by the Owner in its sole discretion, in any Bid in the interest of the Owner.

10. Arizona Contractor's License No (s) \_\_\_\_\_

(Official Name of Firm) \_\_\_\_\_

SEAL – If Bidder is a Corporation Print Officer’s Name \_\_\_\_\_

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Title \_\_\_\_\_

(Complete Business Address) \_\_\_\_\_

(Business Phone Number) \_\_\_\_\_

11. Project #1 Eloy Junior High: Short Restatement of understanding of Scope of Work including product(s) being used:

12. Project #2 Junior High Gym: Short Restatement of understanding of Scope of Work including product(s) being used:

13. Project #2 Junior High Gym HVAC: Short Restatement of understanding of Scope of Work including product(s) being used:

14. Project #3 Intermediate School: Short Restatement of understanding of Scope of Work including product(s) being used:

15. Are there any unresolved issues with your firm and the Registrar of Contractors? Yes\_\_ No\_\_

If Yes, explain:

16. (Firm) \_\_\_\_\_ and (Manufacturer) \_\_\_\_\_ do not have any unresolved warranty issues with any previous SFB projects.

17. List three Arizona References of similar Projects:

Owner	Contact	Cell	Email	Date of Project

# **SEALED BID PACKAGE**

**Submitted by:**

Address:

City, State, Zip:

**Three SFB Weatherization and Roof Restoration Projects at Two Schools, IFB 17-01-17**

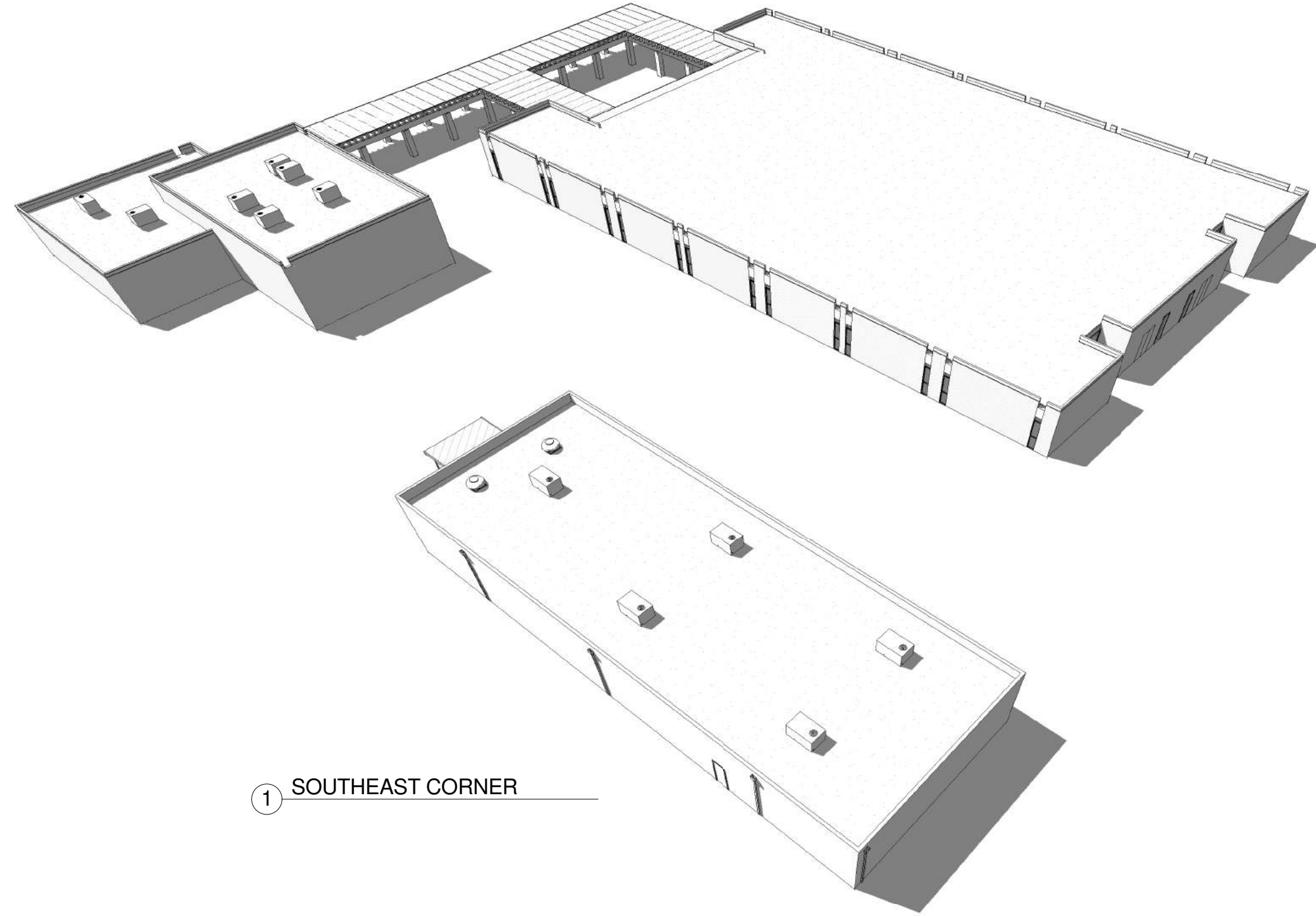
**Due: January 23, 2017, at 11:00 AM**

**Eloy Elementary School District, #11**  
**Attn: Business Office**  
1011 N. Sunshine Blvd.  
Eloy, AZ 85131

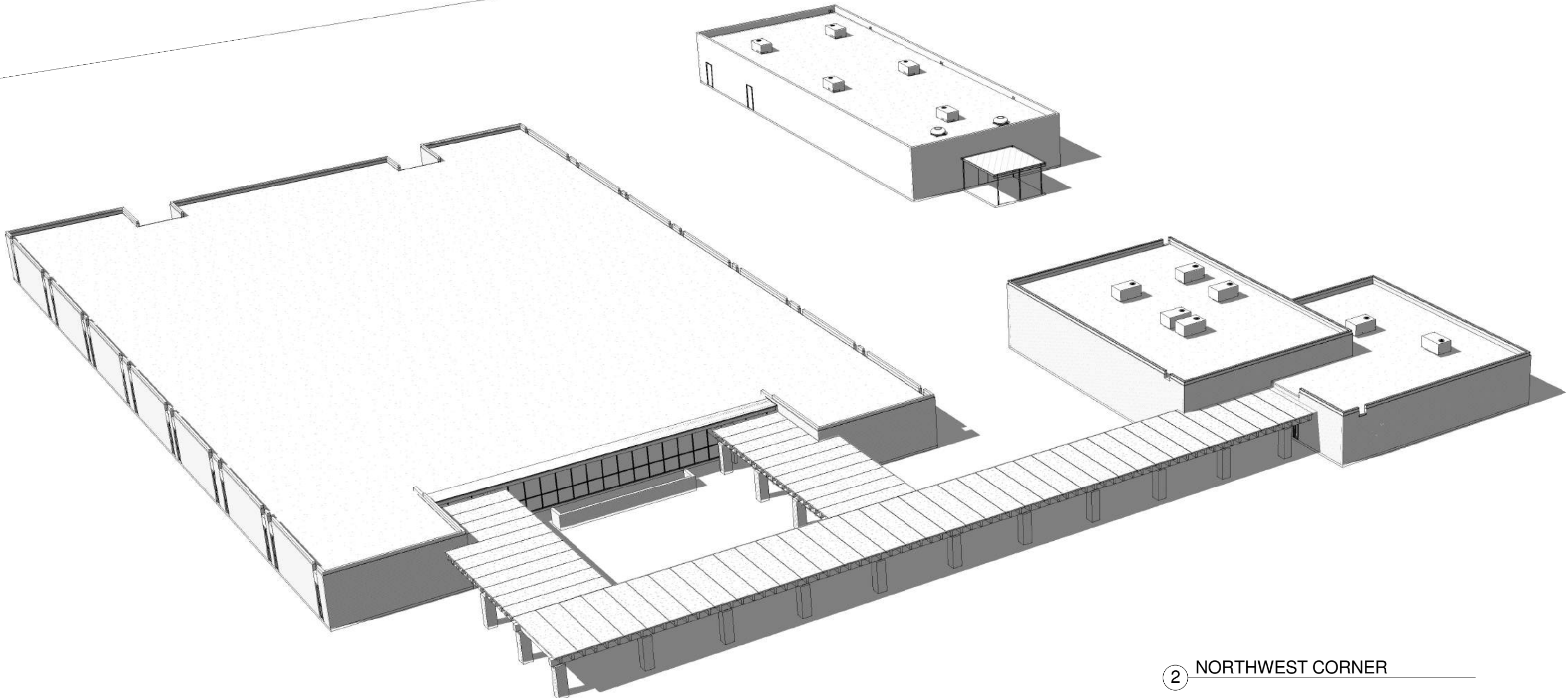




# BUILDING WEATHERIZATION ELOY JUNIOR HIGH SCHOOL 404 E PHOENIX AVE. ELOY, ARIZONA JANUARY 2017



1 SOUTHEAST CORNER



2 NORTHWEST CORNER

SFB CONTACT: DAN DEMLAND  
(602) 542-6567

ROOF CONSULTANT: MICHAEL CROW  
REDTREE CONSULTING  
(602) 989-2433

ARCHITECT: ROBERT POLCAR ARCHITECTS  
(602) 363-4096

SFB PROJECT #: 110411105-9999-002

**PROJECT SCOPE:**

CLASSROOM BUILDING, WALKWAY CANOPY, KITCHEN/CAFETERIA, AND LOCKER ROOM: CLEAN ALL EXTERIOR CONCRETE, MASONRY, METAL AND STUCCO SURFACES. CLEAN AND REPAIR ALL VERTICAL MASONRY JOINTS AND CRACKS. REMOVE AND REPLACE EXISTING SEALANTS AT ALL EXPANSION AND CONSTRUCTION JOINTS, WINDOW AND DOOR FRAMES, AND ANY OTHER SEALANTS WHERE THEY OCCUR.

PREP, BLOCKFILL AND COAT ALL CONCRETE AND CONCRETE MASONRY UNITS.

PREP AND REPAIR STUCCO WHERE NECESSARY, PRIME AND COAT ALL STUCCO FINISHES.

PREP AND PAINT ALL STEEL, DOORS, FRAMES, WINDOWS, METAL TRIM AND EXPOSED FLASHINGS.

REMOVE AND REPLACE EXISTING DOORS ON NORTH SIDE OF THE CLASSROOM BUILDING AS INDICATED ON PLANS.

INSTALL A NEW METAL PARAPET COPING AT THE LOWER ROOF LEVELS WHERE NOTED ON PLANS. REPAIR EXTERIOR GYP BOARD SOFFITS, PRIME AND PAINT WHERE THEY OCCUR.

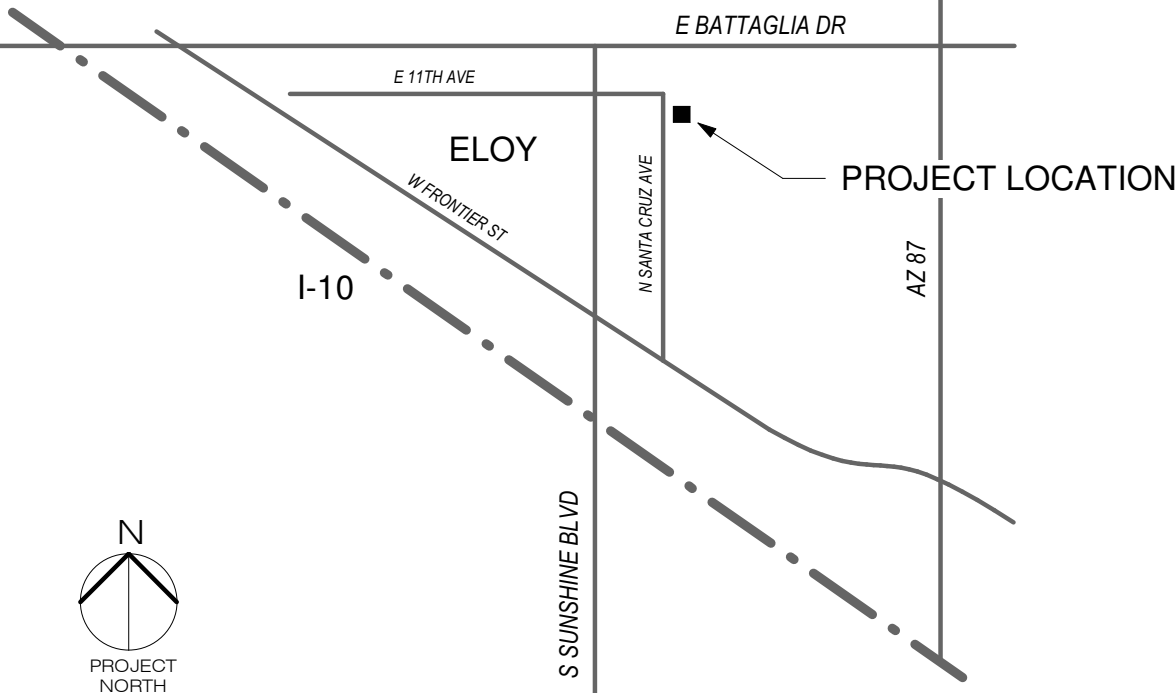
LOCKER ROOM BUILDING: REMOVE EXISTING SPRAY FOAM ROOF SYSTEM AND REPLACE WITH NEW 2 PLY MODIFIED BIT SYSTEM. ADJUST CURBS. INSTALL NEW METAL COPING, INSTALL NEW THROUGH WALL SCUPPERS.

CAFETERIA AND WALKWAY CANOPIES: REMOVE EXISTING ROOF COVERINGS AND REPLACE WITH NEW 2 PLY MODIFIED BIT SYSTEM. ADJUST CURBS. INSTALL NEW METAL COPING AT CAFETERIA.

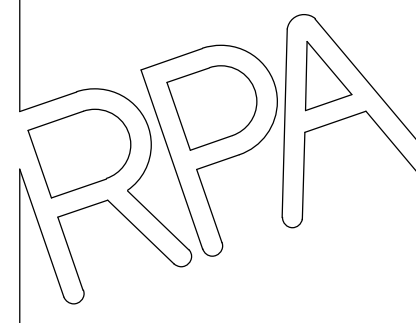
THE PROJECT WILL TAKE PLACE DURING THE SCHOOL YEAR WHILE THE CAMPUS IS OCCUPIED.

**DRAWING LIST:**

- A0 PROJECT INFORMATION
- A1 FLOOR PLAN CLASSROOM
- A2 FLOOR PLAN CAFETERIA
- A3 FLOOR/ROOF PLAN LOCKERS
- A4 ROOF PLAN CAFETERIA
- A5 ELEVATIONS CLASSROOM
- A6 ELEVATIONS CAFETERIA/LOCKERS
- A7 DETAILS



3 VICINITY MAP  
12" = 1'-0"

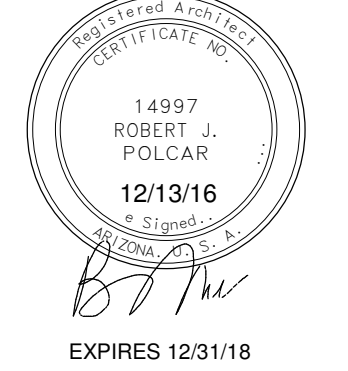


ROBERT POLCAR ARCHITECTS, INC  
(480) 675-9760 (602) 363-4096  
SCOTTSDALE, ARIZONA



7845 E. REDFIELD RD STE 100  
SCOTTSDALE, AZ 85260  
(602) 989-2433

ELOY ELEMENTARY DISTRICT  
JUNIOR HIGH SCHOOL WEATHERIZATION  
404 E PHOENIX AVE, ELOY, AZ



Revision	Revision Date
1	01/09/17
<b>CLARIFICATIONS</b>	
Project number	0502040D1-1001-009
Date	12/13/16
Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	PROJECT INFO

A0



NORTH DOORS - TO BE REPLACED



TYPICAL WINDOW - EAST AND WEST



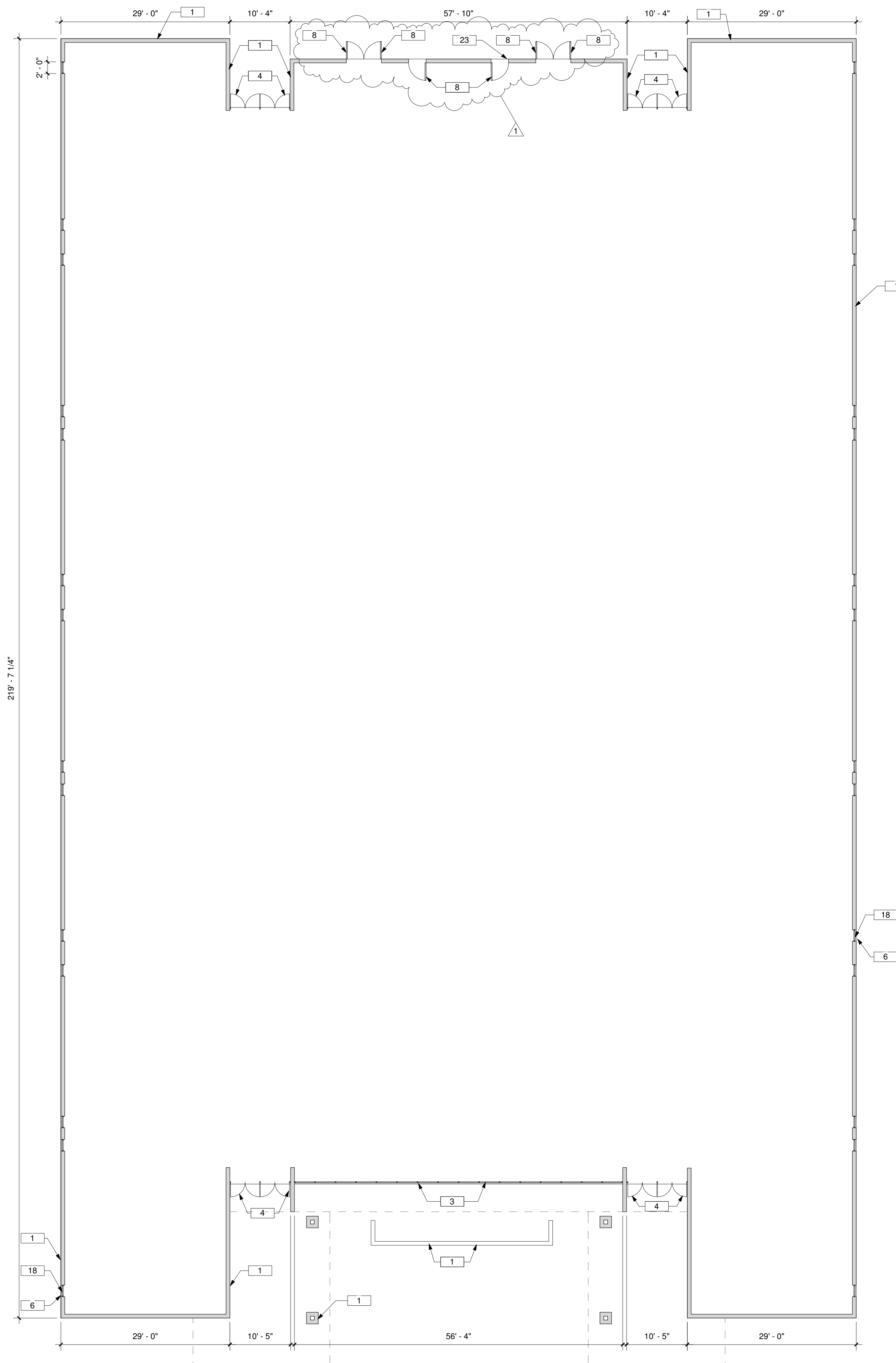
SOUTHEAST CORNER



EAST ELEVATION



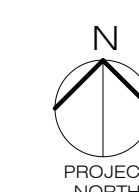
SOUTH WINDOWS



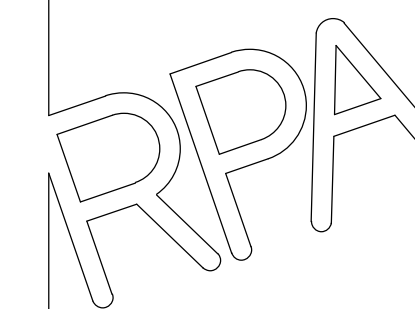
KEYNOTES

- 1 EXISTING SLUMP BLOCK CMU. WASH, PREP, PRIME AND COAT. COLOR TO MATCH EXISTING.
- 2 CLEAN, PREP, AND PAINT EXISTING CONCRETE ELEMENTS. COLOR TO MATCH EXISTING.
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- 7 EXISTING STUCCO FINISH, CLEAN, REPAIR CRACKS AND HOLES, PREP AND APPLY COATING.
- 8 REMOVE AND REPLACE EXISTING DOORS, FOUR LOCATIONS, WITH NEW H.M. DOORS. PROVIDE NEW HARDWARE TO MATCH EXISTING, VERIFY DOOR OPERATION, MATCH "BEST" KEY CORE SYSTEM.
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GENERAL NOTE:  
 TYPICAL AT ALL EXTERIOR WALLS  
 REMOVE EARTH OR ASPHALT AGAINST  
 BUILDING WALL TO APPROX. 12" BELOW  
 ADJACENT GRADE LEVEL PRIOR TO  
 CLEANING PREPPING AND COATING.  
 EXTEND WALL COATING APPLICATION TO  
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 FLOOR LEVEL TO APPROX 10" BELOW  
 GRADE. FILL BACK MATERIAL AT  
 COMPLETION OF PROJECT. DISTRICT WILL  
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1 FLOOR LEVEL CLASSROOM  
 3/32" = 1'-0"

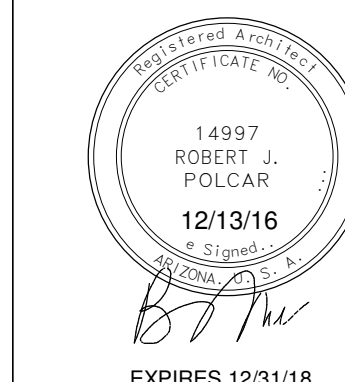


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Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	FLOOR PLAN CLASSROOM

A1





SOUTH ELEVATION WALKWAY



SOUTH ELEVATION CAFETERIA



SOUTH ELEVATION



SOUTH ELEVATION



TYPICAL ENTRY DOORS



ENTRY DOORS WITH SECURITY



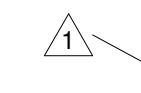
CANOPY DETAIL



WALKWAY CANOPY

KEYNOTES

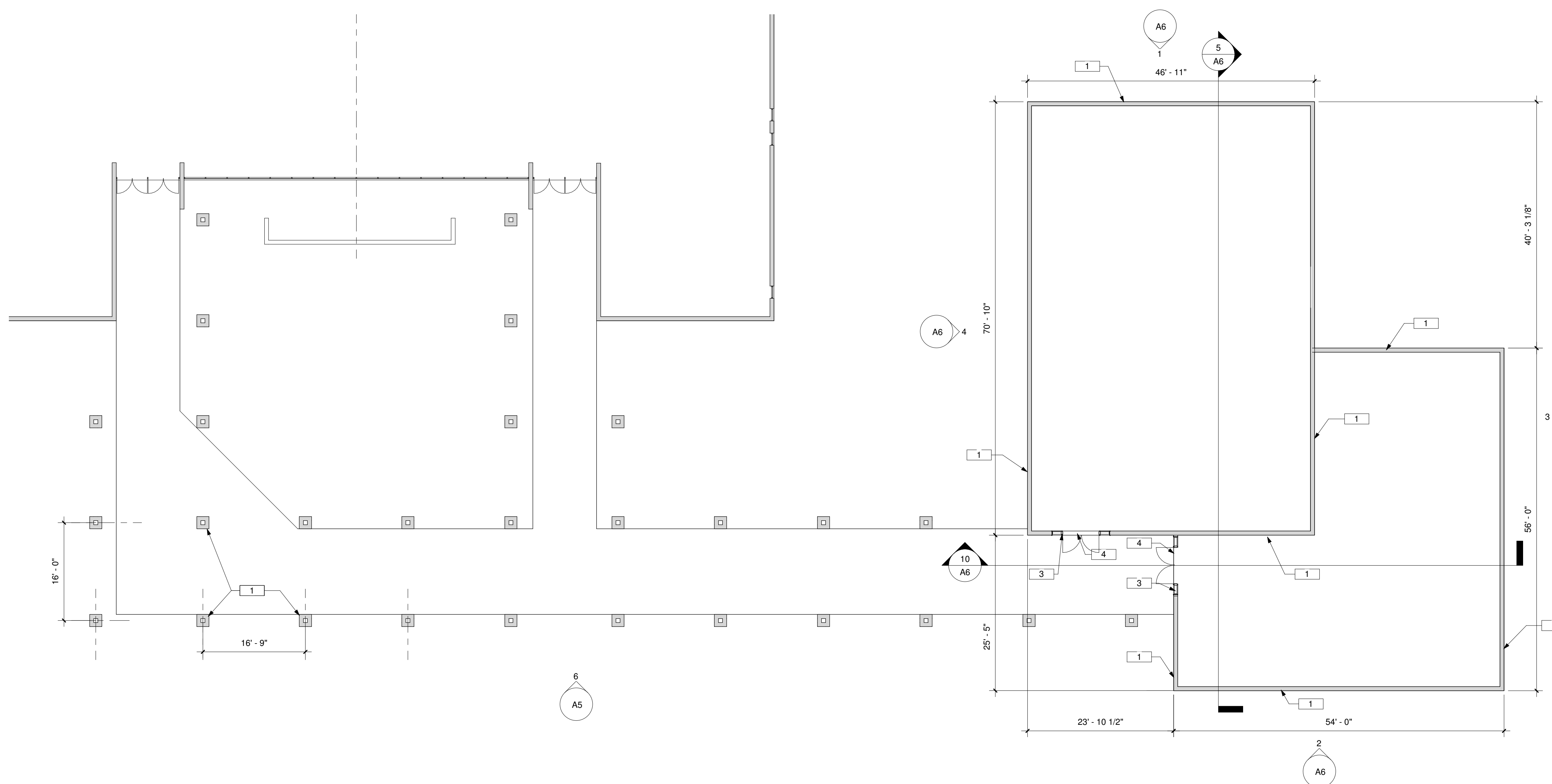
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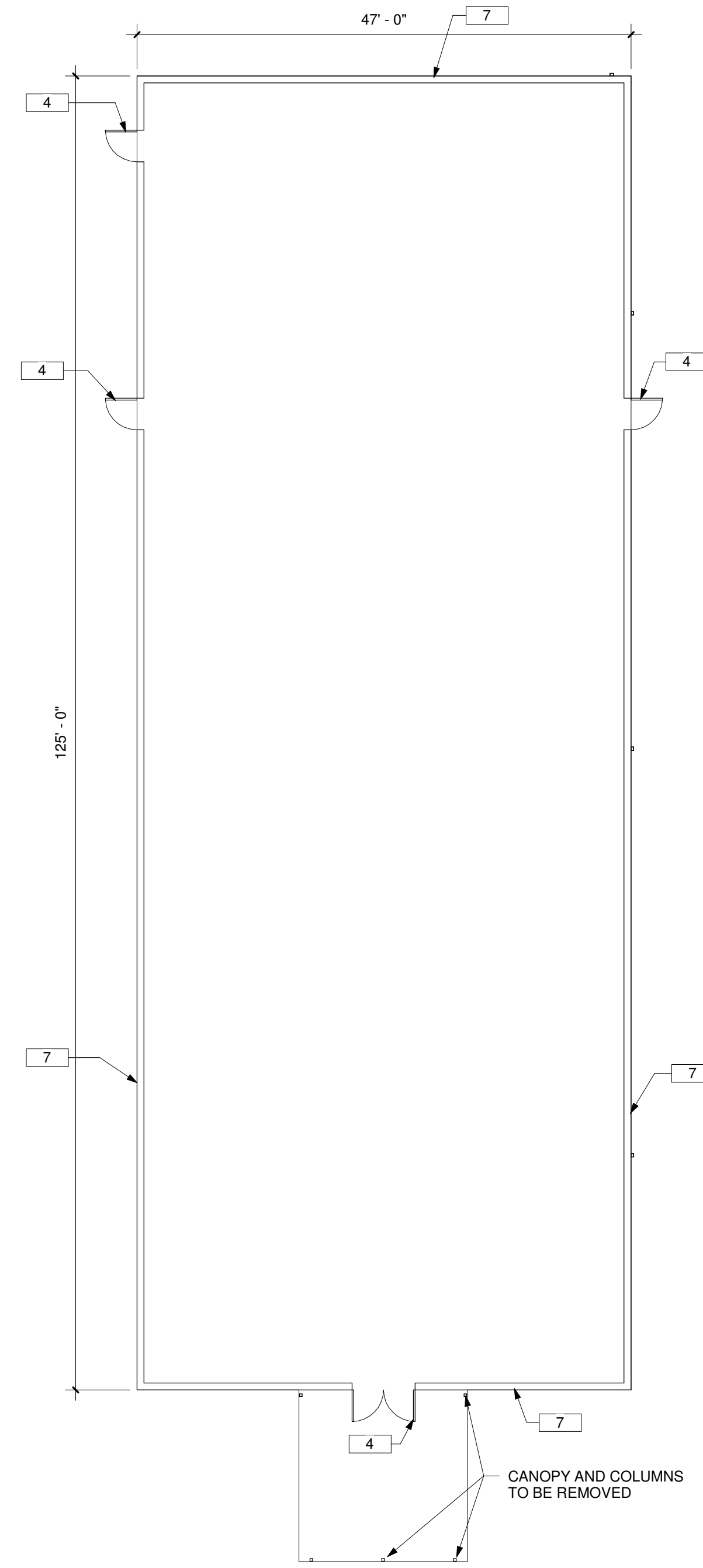


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Sheet Name	FLOOR PLAN CAFETERIA

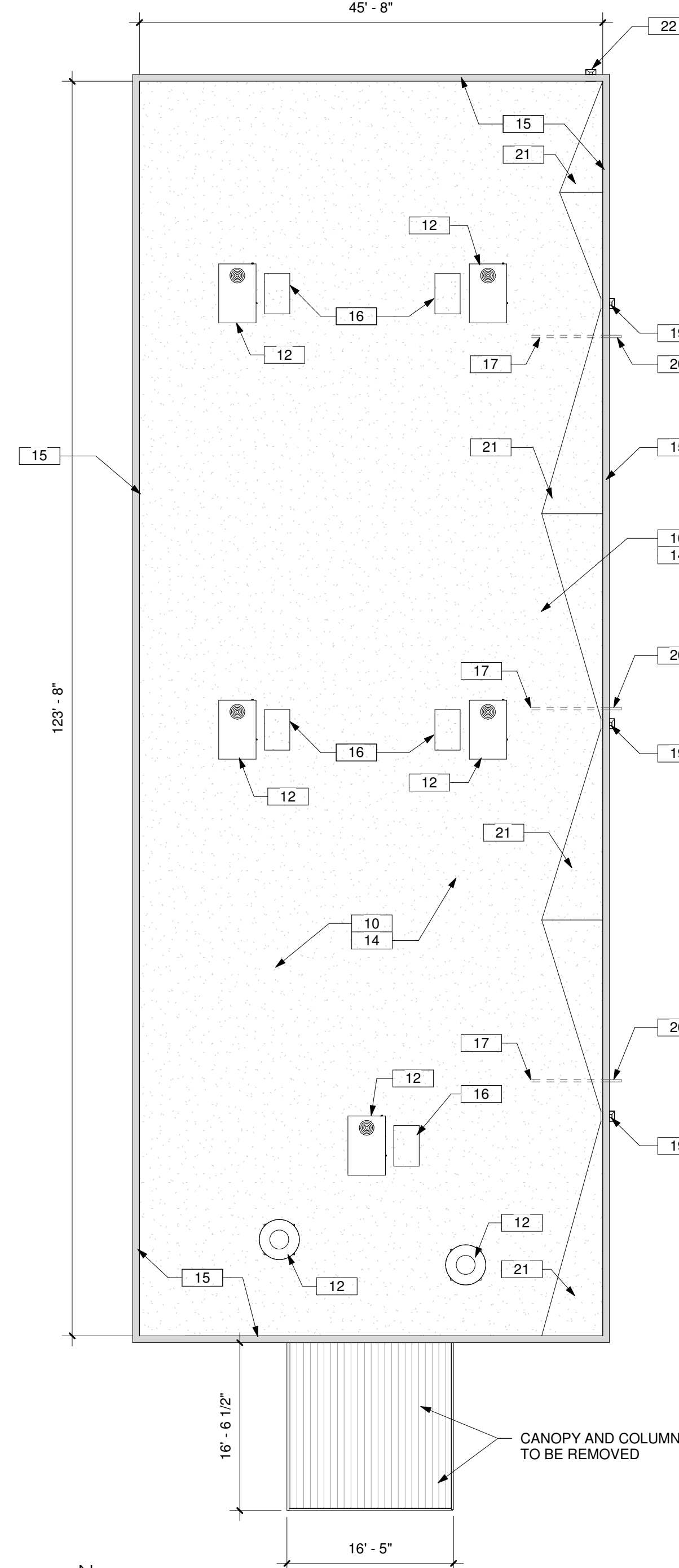


KEYNOTES

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- 9 EXSTING BUILT UP ROOF MEMBRANE AND MOISTURE BARRIER TO BE REMOVED TO DECK. REMOVE TRIM FLASHINGS, TYPICAL THROUGHOUT WALKWAY.
- 10 EXISTING SPRAY FOAM ROOF AND COATING MATERIAL TO BE REMOVED TO DECK AND PERIMETER BLOCK. REMOVE EXISTING COUNTERFLASHING AND REGLETS TYPICAL.
- 11 ABANDONED EQUIPMENT, PITCH POCKETS, STANDS, VENTS AND OTHER UNUSED ITEMS SHALL BE REMOVED. OWNER WILL MARK ELEMENTS FOR REMOVAL.
- 12 EXISTING EQUIPMENT REMAINS, ADJUST CURBS WHERE NECESSARY TO COMPLY WITH ROOF MEMBRANE WARRANTY REQUIREMENTS. REMOVE AND REPLACE EXISTING PITCH POCKETS, COLLARS, ETC AS REQUIRED TO COMPLY WITH ROOF MATERIAL MANUFACTURER'S WARRANTY REQUIREMENTS.
- 13 INSTALL NEW REGLETS IN MASONRY JOINT, TYPICAL.
- 14 INSTALL NEW 2 PLY MODIFIED BITUMINOUS ROOFING SYSTEM PER SPECIFICATIONS.
- 15 INSTALL NEW METAL COPING ON TOP OF EXISTING PARAPET WALL. TYPICAL ON CAFETERIA/KITCHEN AND LOCKER ROOM BUILDINGS.
- 16 PROVIDE NEW WALKPAD ADJACENT TO MECHANICAL UNIT AT MAINTENANCE ACCESS POINT. TYPICAL FOR ALL.
- 17 CLEAN EXISTING ROOF DRAINS TO INSURE PROPER OPERATION.
- 18 EXISTING ALUMINUM FRAME WINDOWS, CLEAN METAL SURFACES OF DIRT AND PAINT OVERSPRAY.
- 19 INSTALL NEW THRU WALL SCUPPER AND LEADER. INSTALL LEADER AGAINST EXTERIOR OF BUILDING. PROVIDE SPLASHBLOCK AND RIVER STONE BETWEEN SPLASHBLOCK AND PAVEMENT.
- 20 EXISTING ROOF DRAIN TO SERVE AS OVERFLOW.
- 21 BUILD UP NEW CRICKETS, SLOPE TO DRAIN MIN. 1/4" PER FOOT.
- 22 EXISTING THROUGH WALL SCUPPER REMAINS, REPAIR OR REPLACE DRAIN LEADER.
- 23 REPAIR DAMAGED HOLLOW METAL DOOR FRAME PRIOR TO PAINTING.



1 FLOOR LEVEL LOCKERS  
 3/32" = 1'-0"



2 ROOF PLAN LOCKERS  
 3/32" = 1'-0"

GENERAL NOTE:  
 TYPICAL AT ALL EXTERIOR WALLS REMOVE EARTH OR ASPHALT AGAINST BUILDING WALL TO APPROX. 12" BELOW ADJACENT GRADE LEVEL PRIOR TO CLEANING PREPPING AND COATING. EXTEND WALL COATING APPLICATION TO FLOOR LEVEL, APPLY THOROSEAL OR EQUAL ON CONCRETE STEMWALL FROM FLOOR LEVEL TO APPROX 10" BELOW GRADE. FILL BACK MATERIAL AT COMPLETION OF PROJECT. DISTRICT WILL REPLACE ASPHALT WHERE REMOVED.



LOCKER BUILDING PARAPET



LOCKER BUILDING ROOF



LOCKER BUILDING STUCCO WALLS



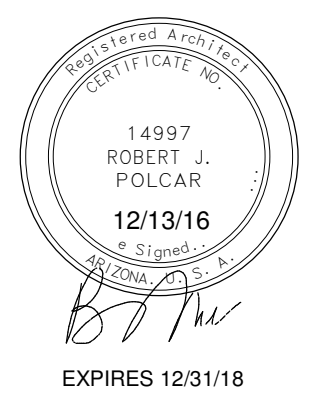
LOCKER BUILDING CANOPY



BAND BUILDING - REPAINT SOFFITS



BAND BUILDING SOFFITS - REPAINT



EXPIRES 12/31/18

Revision	Revision Date
1	01/09/17
<b>CLARIFICATIONS</b>	

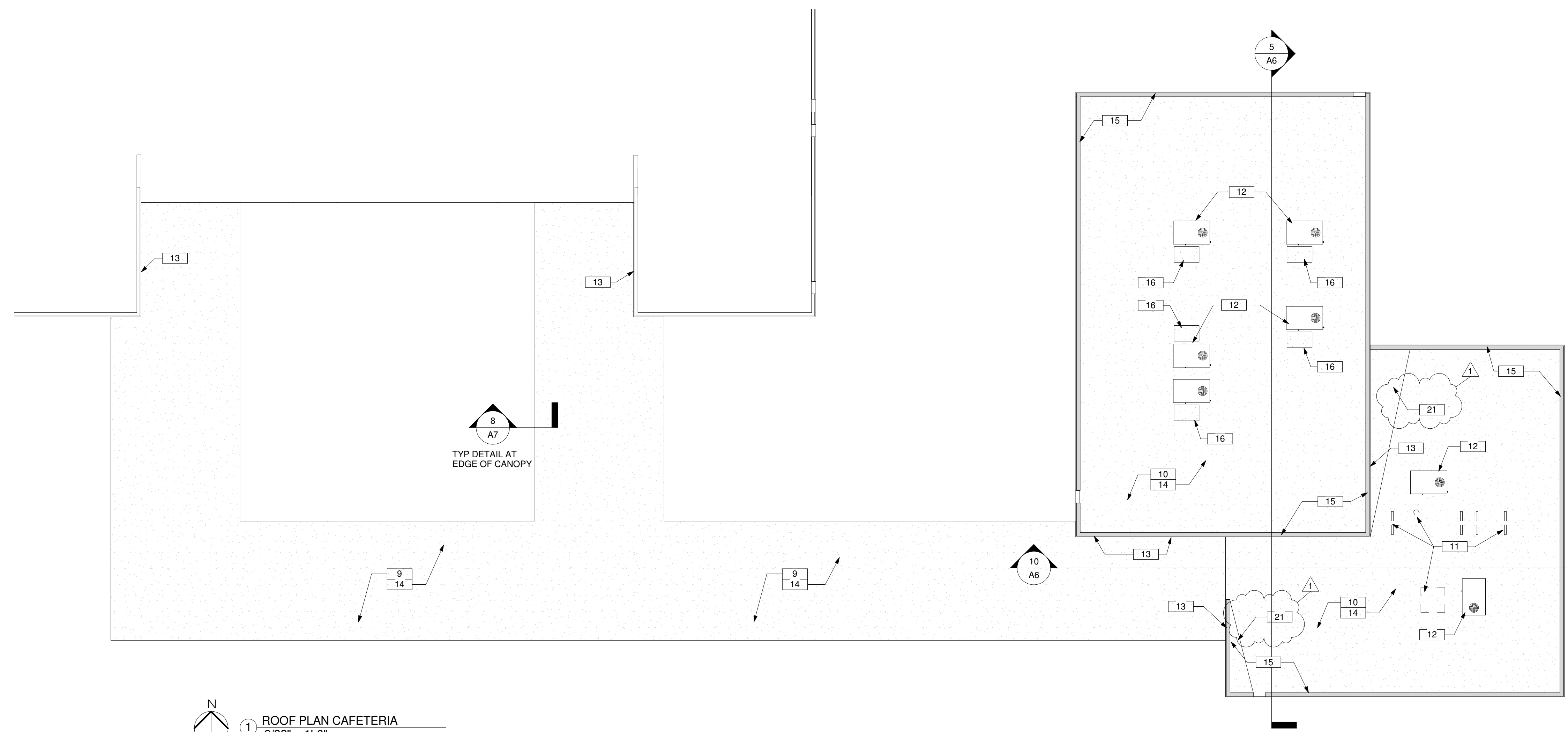
Project number  
 0502040D1-1001-009

Date  
 12/13/16

Drawn by  
 BP

Checked by  
 BP

Sheet Size ARCH D 24"x36"  
 Sheet Name FLOOR/ROOF LOCKERS



KEYNOTES

- 1 EXISTING SLUMP BLOCK CMU. WASH, PREP, PRIME AND COAT, COLOR TO MATCH EXISTING.
- 2 CLEAN, PREP, AND PAINT EXISTING CONCRETE ELEMENTS. COLOR TO MATCH EXISTING.
- 3 METAL WINDOW AND DOOR FRAMES. REMOVE BUILDING SEALANTS, CLEAN JOINT AND INSTALL NEW SEALANT. CLEAN METAL, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- 4 HOLLOW METAL DOORS, PROTECT HARDWARE, CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES TO MATCH EXISTING COLOR.
- 5 EXISTING METAL TRIM OR FLASHING, REMOVE AND REPLACE SEALANTS. CLEAN, PREP, PRIME AND PAINT WHERE EXPOSED. COLOR TO MATCH EXISTING.
- 6 EXISTING METAL BARS OR GRILLES, CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- 7 EXISTING STUCCO FINISH, CLEAN, REPAIR CRACKS AND HOLES, PREP AND APPLY COATING.
- 8 REMOVE AND REPLACE EXISTING DOORS, FOUR LOCATIONS, WITH NEW H.M. DOORS. PROVIDE NEW HARDWARE TO MATCH EXISTING, VERIFY DOOR OPERATION, MATCH "BEST" KEY CORE SYSTEM.
- 9 EXISTING BUILT UP ROOF MEMBRANE AND MOISTURE BARRIER TO BE REMOVED TO DECK. REMOVE TRIM FLASHINGS. TYPICAL THROUGHOUT WALKWAY.
- 10 EXISTING SPRAY FOAM ROOF AND COATING MATERIAL TO BE REMOVED TO DECK AND PERIMETER BLOCK. REMOVE EXISTING COUNTERFLASHING AND REGLETS TYPICAL.
- 11 ABANDONED EQUIPMENT, PITCH POCKETS, STANDS, VENTS AND OTHER UNUSED ITEMS SHALL BE REMOVED. OWNER WILL MARK ELEMENTS FOR REMOVAL.
- 12 EXISTING EQUIPMENT REMAINS, ADJUST CURBS WHERE NECESSARY TO COMPLY WITH ROOF MEMBRANE WARRANTY REQUIREMENTS. REMOVE AND REPLACE EXISTING PITCH POCKETS, COLLARS, ETC AS REQUIRED TO COMPLY WITH ROOF MATERIAL MANUFACTURER'S WARRANTY REQUIREMENTS.
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- 16 PROVIDE NEW WALKPAD ADJACENT TO MECHANICAL UNIT AT MAINTENANCE ACCESS POINT. TYPICAL FOR ALL.
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- 23 REPAIR DAMAGED HOLLOW METAL DOOR FRAME PRIOR TO PAINTING.

PROJECT NORTH  
 1 ROOF PLAN CAFETERIA  
 3/32" = 1'-0"



WALKWAY ROOF AT CAFETERIA



CAFETERIA ROOFS



CAFETERIA ROOF



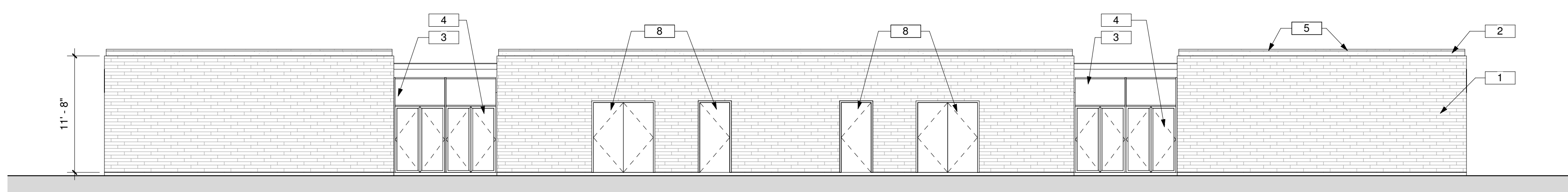
EDGE DETAIL AT WALKWAY ROOF



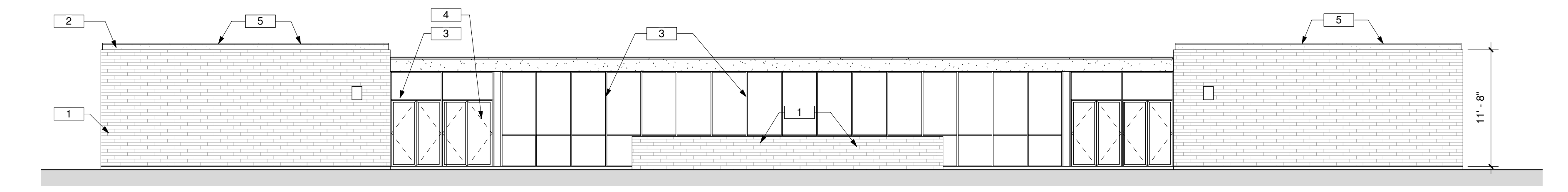
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1	01/09/17
CLARIFICATIONS	
Project number	0502040D1-1001-009
Date	12/13/16
Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	ROOF PLAN CAFETERIA



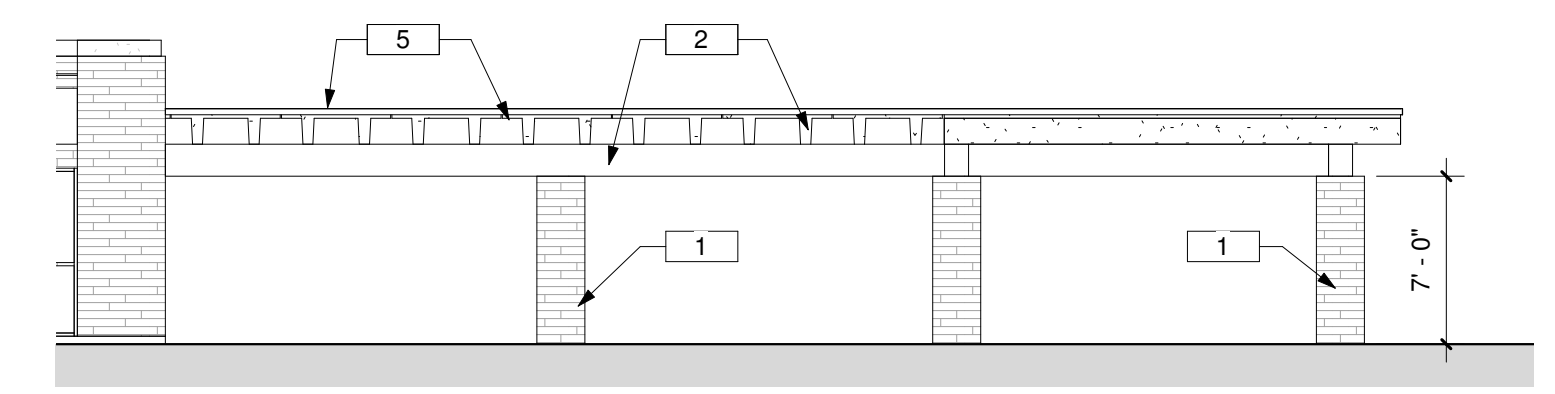
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CLARIFICATIONS			
Project number	0502040D1-1001-009		
Date	12/13/16		
Drawn by	BP		
Checked by	BP		
Sheet Size	ARCH D 24"x36"		
Sheet Name	ELEVATIONS CLASSROOM		



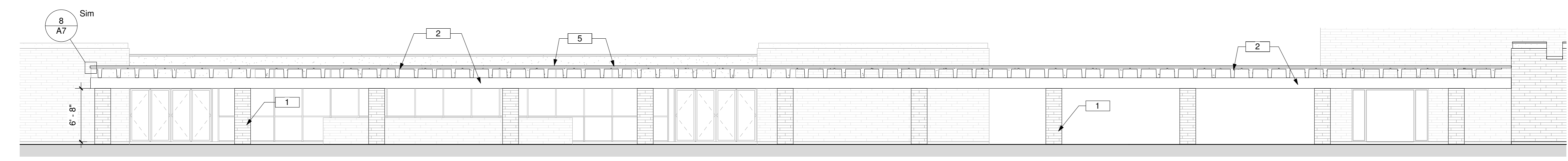
1 CLASSROOM NORTH ELEVATION  
 1/8" = 1'-0"



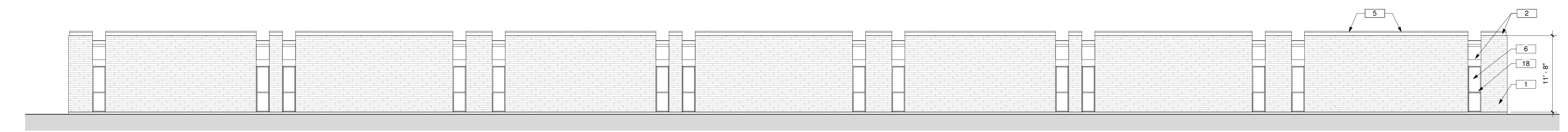
3 CLASSROOM SOUTH ELEVATION  
 1/8" = 1'-0"



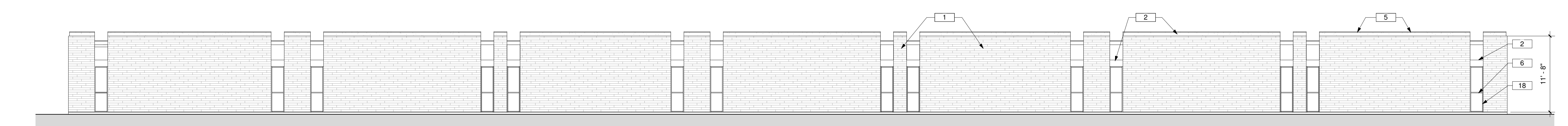
5 WALKWAY WEST ELEVATION  
 1/8" = 1'-0"



6 WALKWAY SOUTH ELEVATION  
 1/8" = 1'-0"



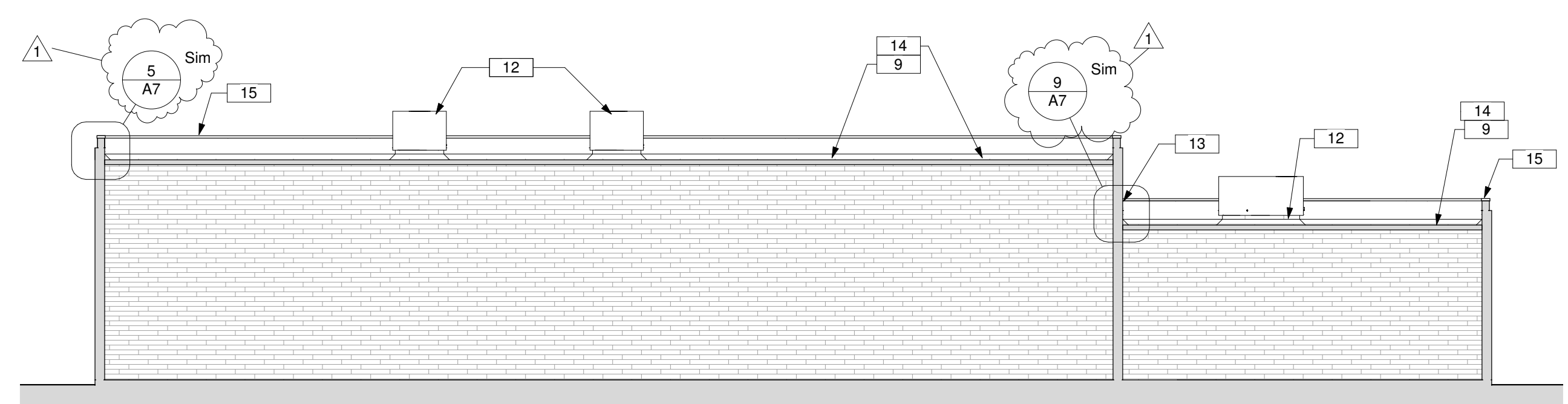
2 CLASSROOM EAST ELEVATION  
 1/8" = 1'-0"



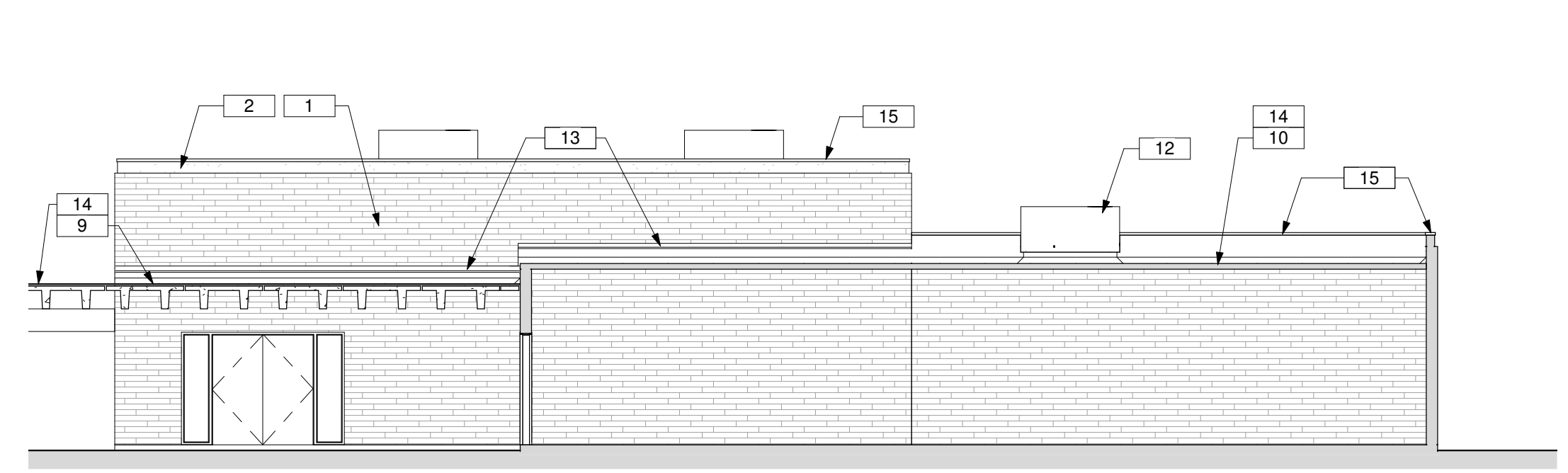
4 CLASSROOM WEST ELEVATION  
 1/8" = 1'-0"

GENERAL NOTE:  
 TYPICAL AT ALL EXTERIOR WALLS  
 REMOVE EARTH OR ASPHALT AGAINST  
 BUILDING WALL TO APPROX. 12" BELOW  
 ADJACENT GRADE LEVEL PRIOR TO  
 CLEANING PREPPING AND COATING.  
 EXTEND WALL COATING APPLICATION TO  
 FLOOR LEVEL, APPLY THOROSEAL OR  
 EQUAL ON CONCRETE STEMWALL FROM  
 FLOOR LEVEL TO APPROX 10" BELOW  
 GRADE. FILL BACK MATERIAL AT  
 COMPLETION OF PROJECT. DISTRICT WILL  
 REPLACE ASPHALT WHERE REMOVED.

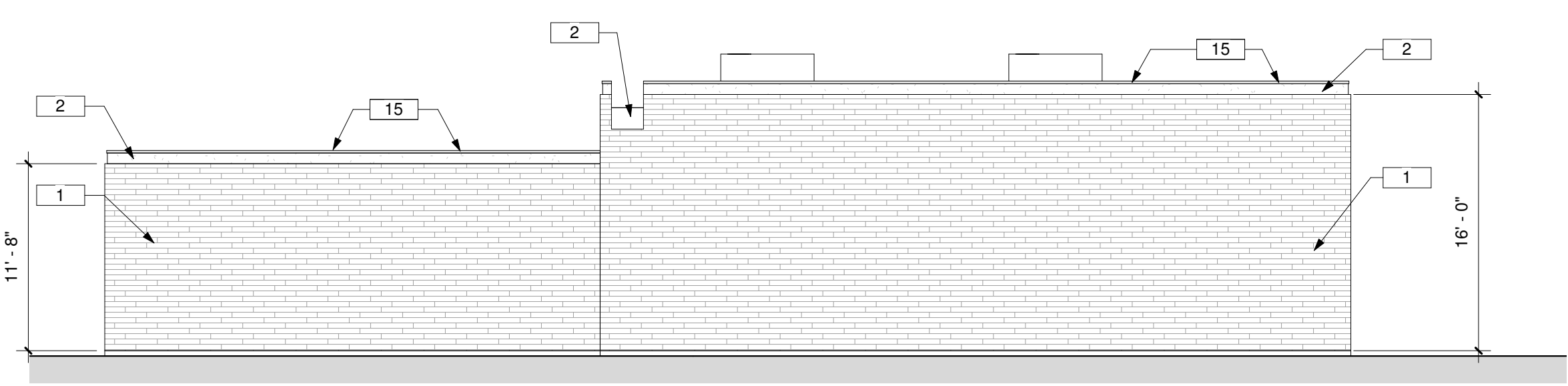
- KEYNOTES
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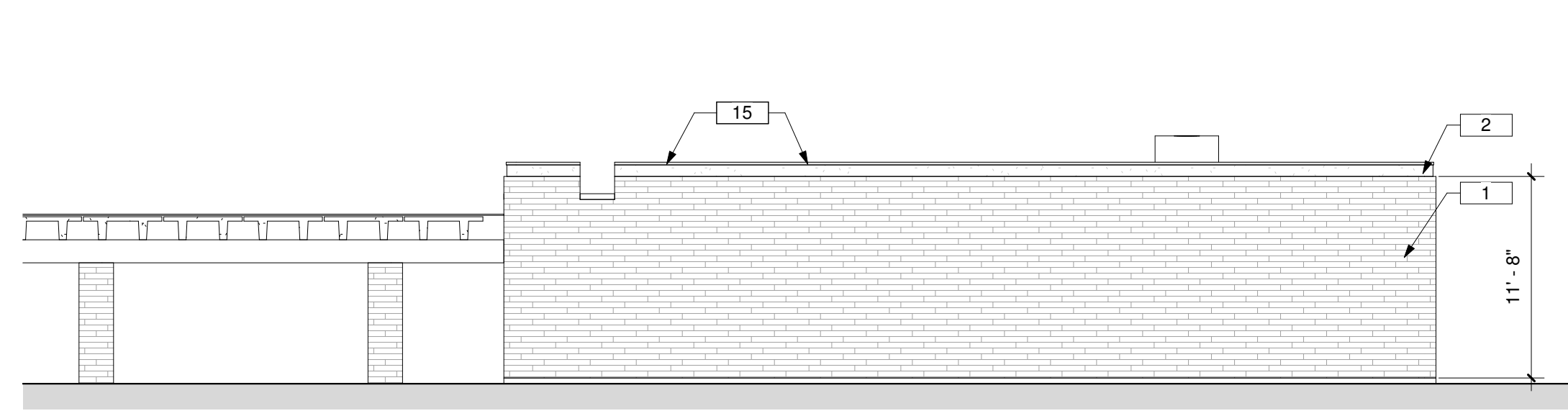
5 SECTION THROUGH CAFETERIA  
 1/8" = 1'-0"



10 SECTION THROUGH KITCHEN  
 1/8" = 1'-0"

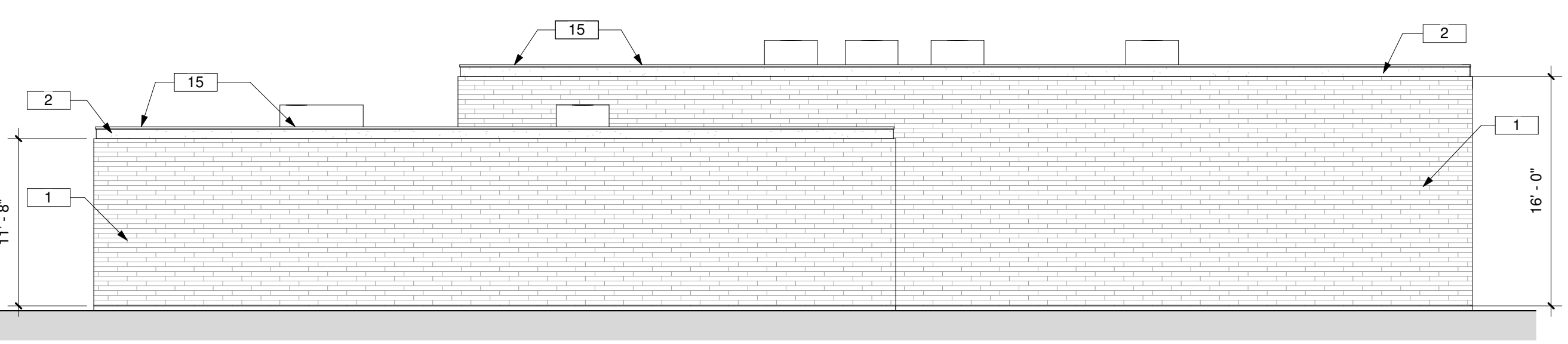


1 CAFETERIA NORTH ELEVATION  
 1/8" = 1'-0"

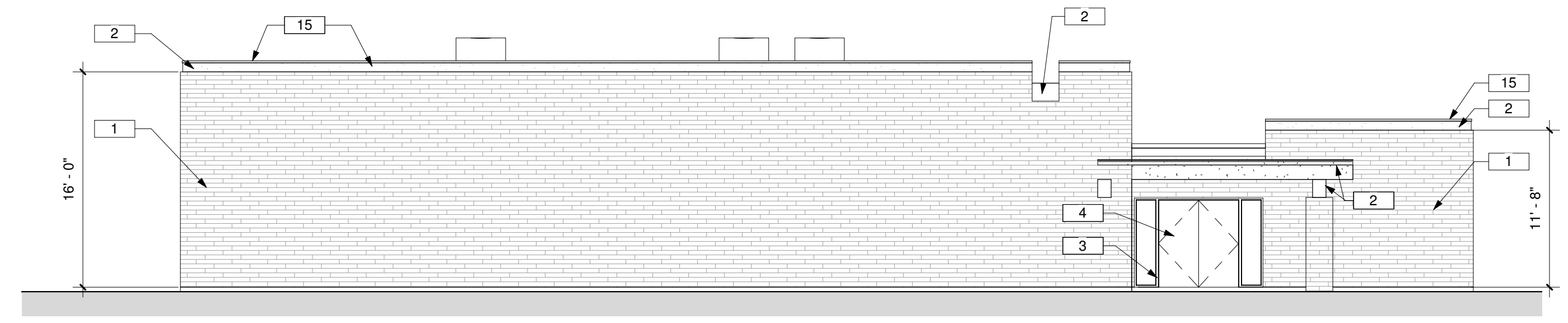


2 CAFETERIA SOUTH ELEVATION  
 1/8" = 1'-0"

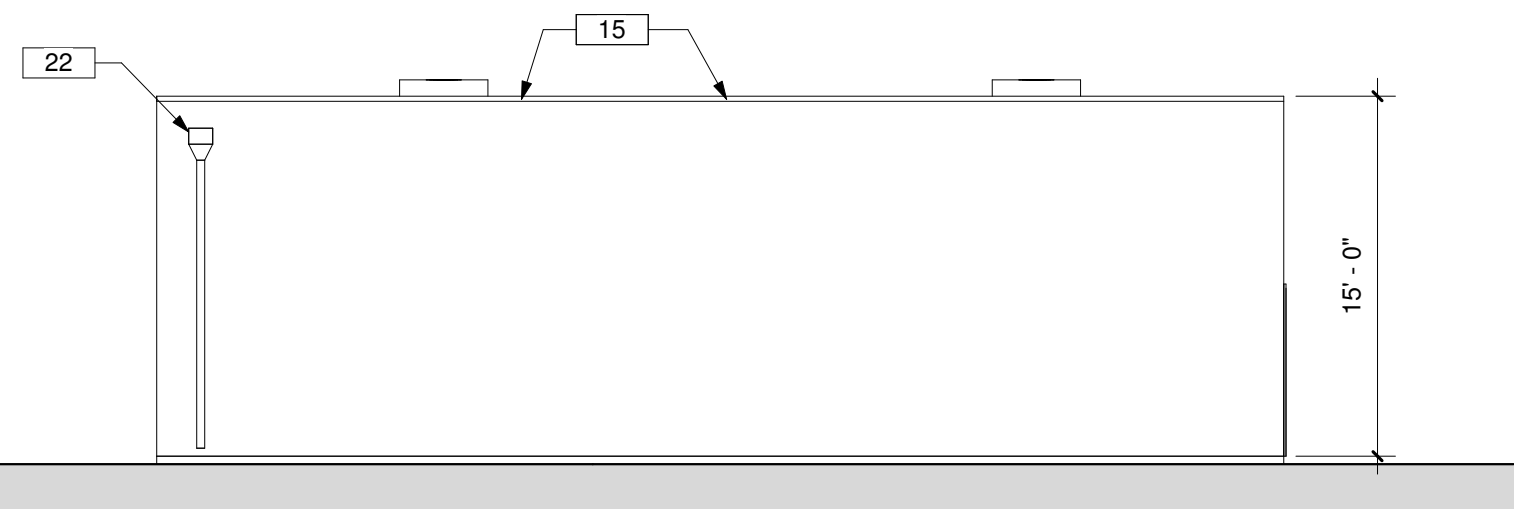
GENERAL NOTE:  
 TYPICAL AT ALL EXTERIOR WALLS  
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 ADJACENT GRADE LEVEL PRIOR TO  
 CLEANING PREPPING AND COATING.  
 EXTEND WALL COATING APPLICATION TO  
 FLOOR LEVEL, APPLY THOROSEAL OR  
 EQUAL ON CONCRETE STEMWALL FROM  
 FLOOR LEVEL TO APPROX 10" BELOW  
 GRADE. FILL BACK MATERIAL AT  
 COMPLETION OF PROJECT. DISTRICT WILL  
 REPLACE ASPHALT WHERE REMOVED.



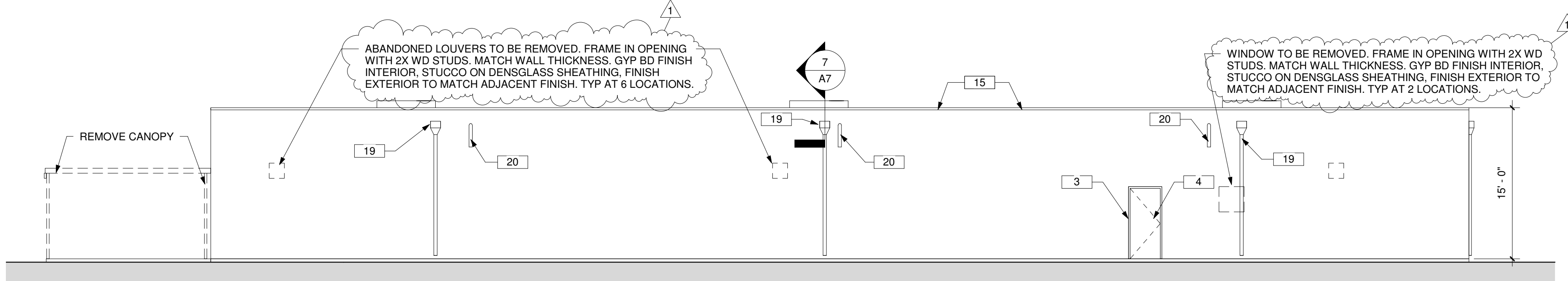
3 CAFETERIA EAST ELEVATION  
 1/8" = 1'-0"



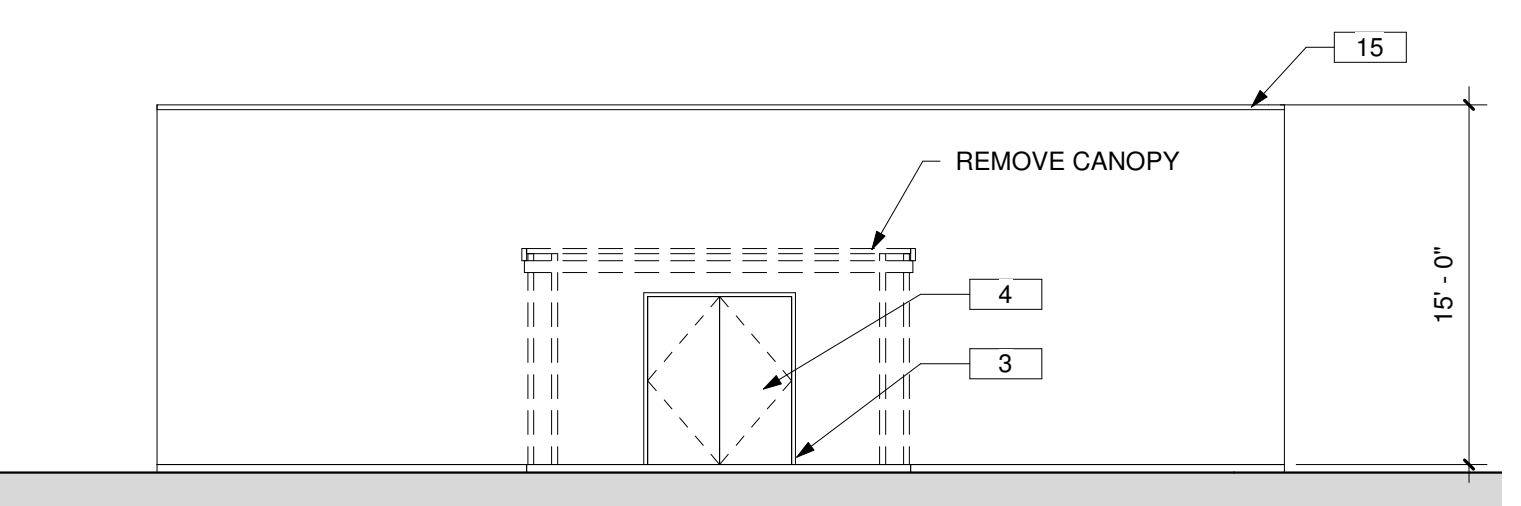
4 CAFETERIA WEST ELEVATION  
 1/8" = 1'-0"



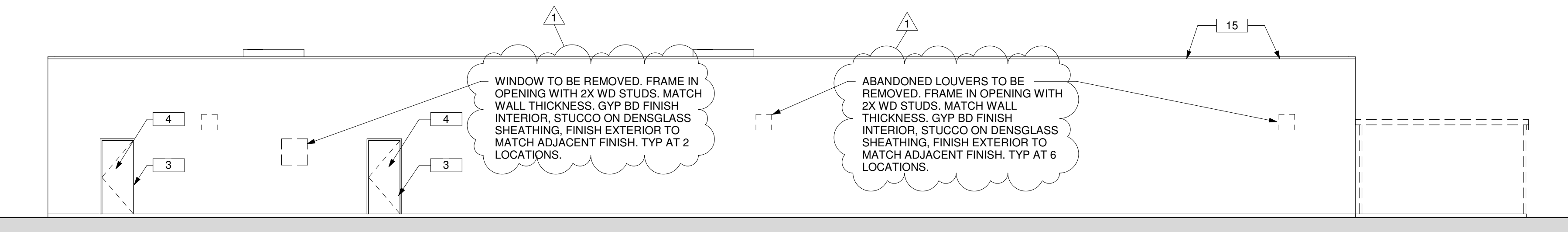
7 LOCKERS NORTH ELEVATION  
 1/8" = 1'-0"



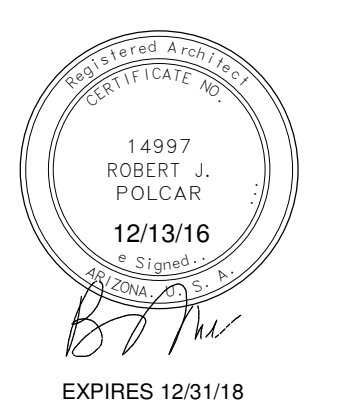
6 LOCKERS EAST ELEVATION  
 1/8" = 1'-0"



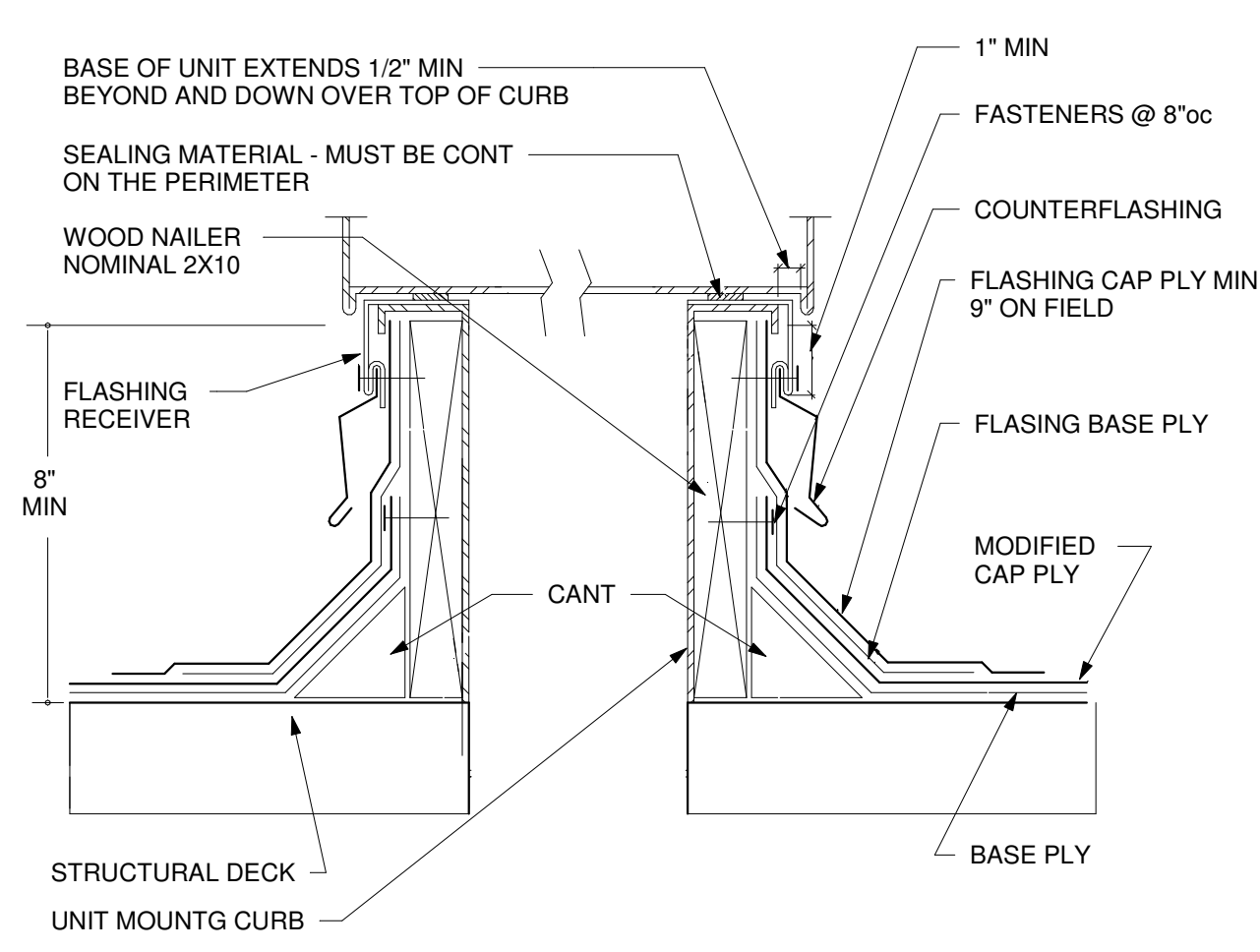
8 LOCKERS SOUTH ELEVATION  
 1/8" = 1'-0"



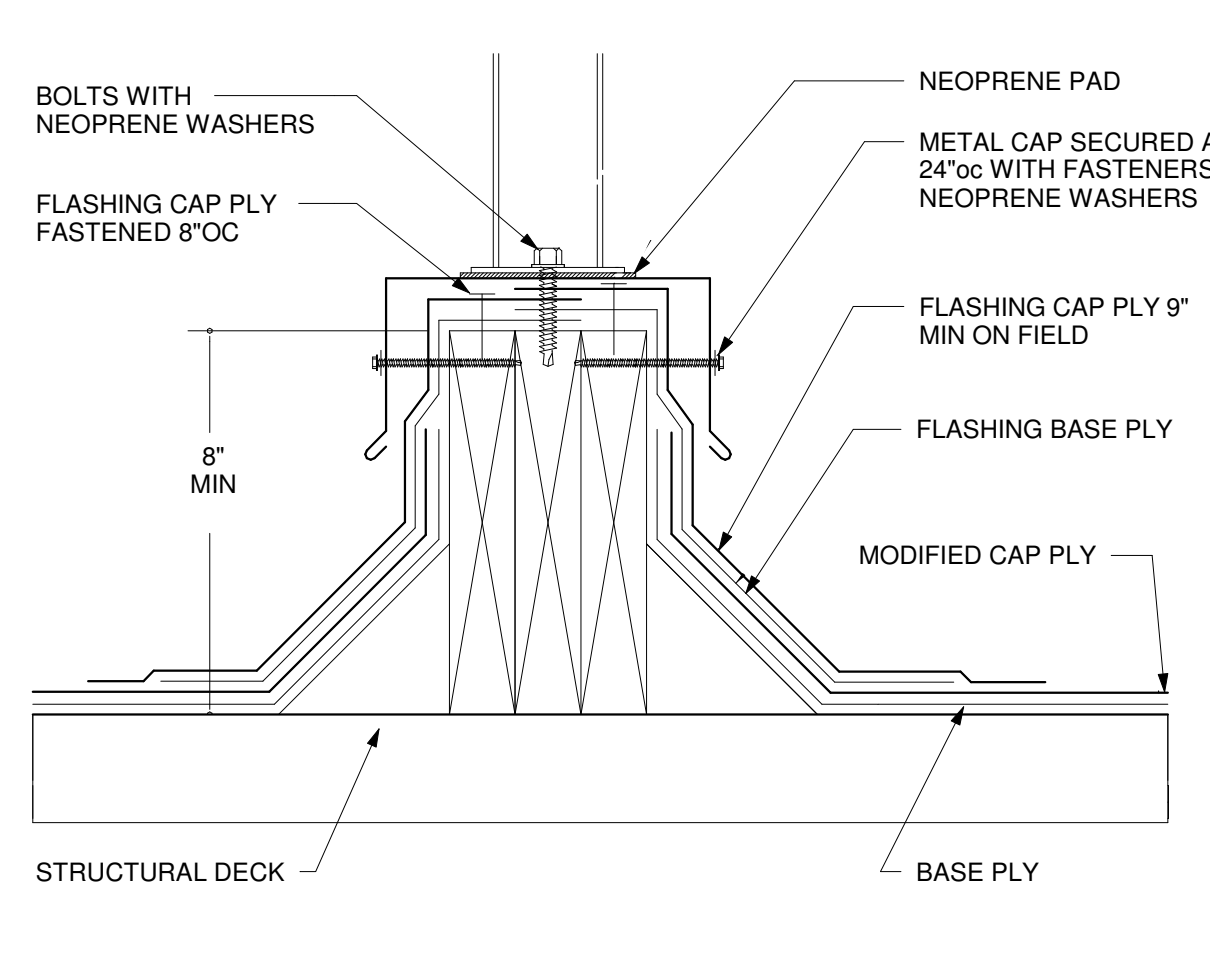
9 LOCKERS WEST ELEVATION  
 1/8" = 1'-0"



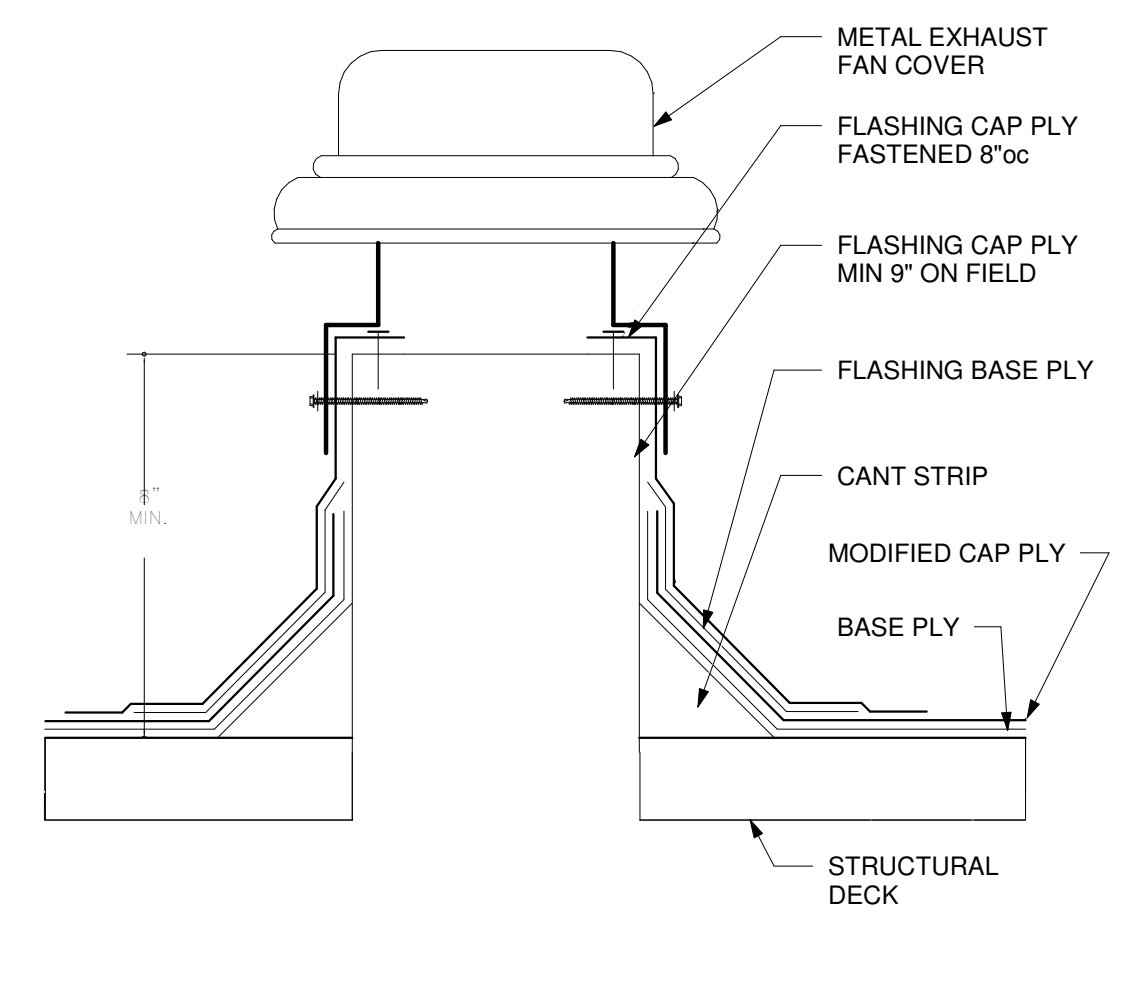
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1	01/09/17
<b>CLARIFICATIONS</b>	
Project number	0502040D1-1001-009
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Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	ELEVATIONS CAFETERIA/LOCKERS



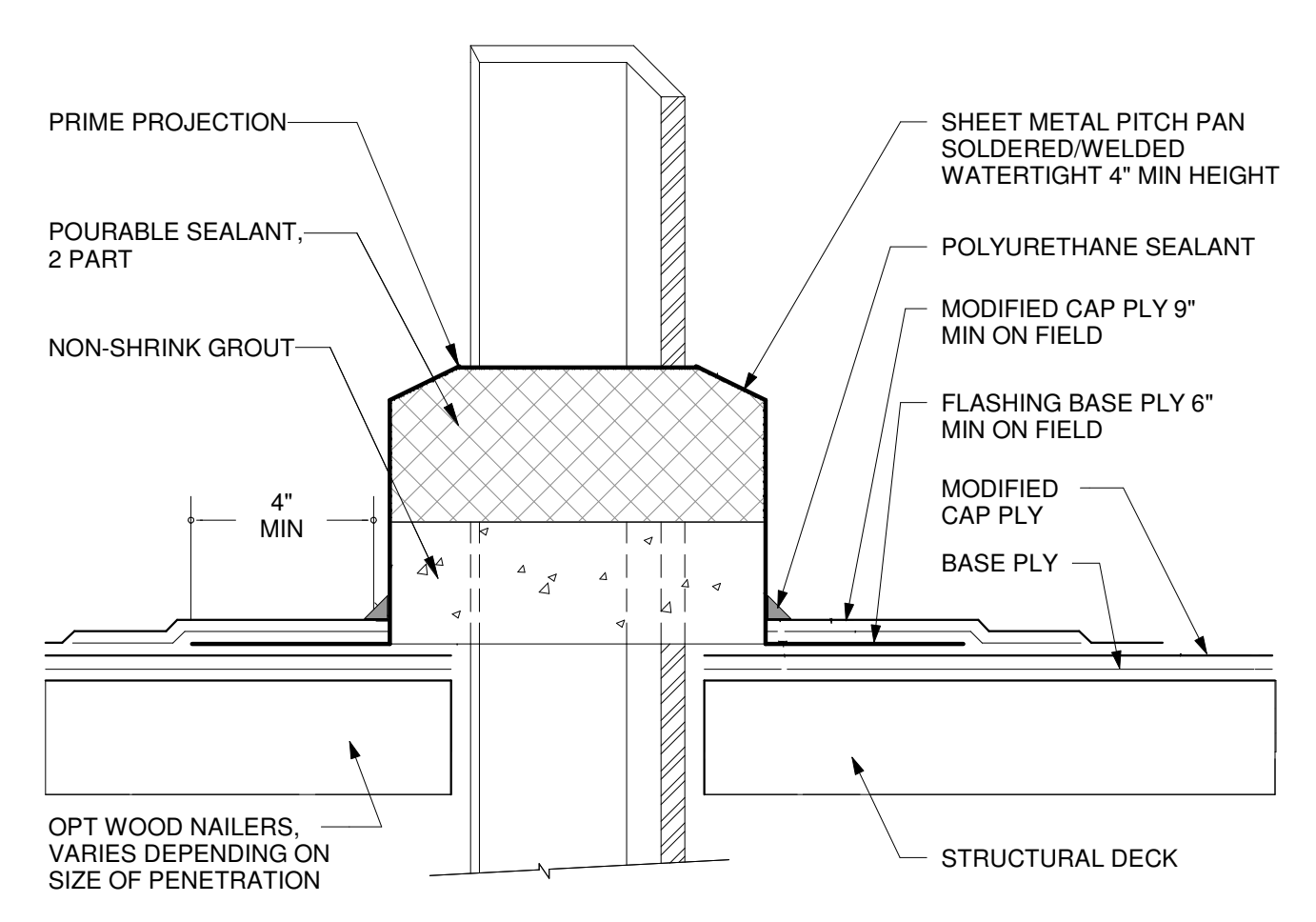
1 CURB1  
 3" = 1'-0"



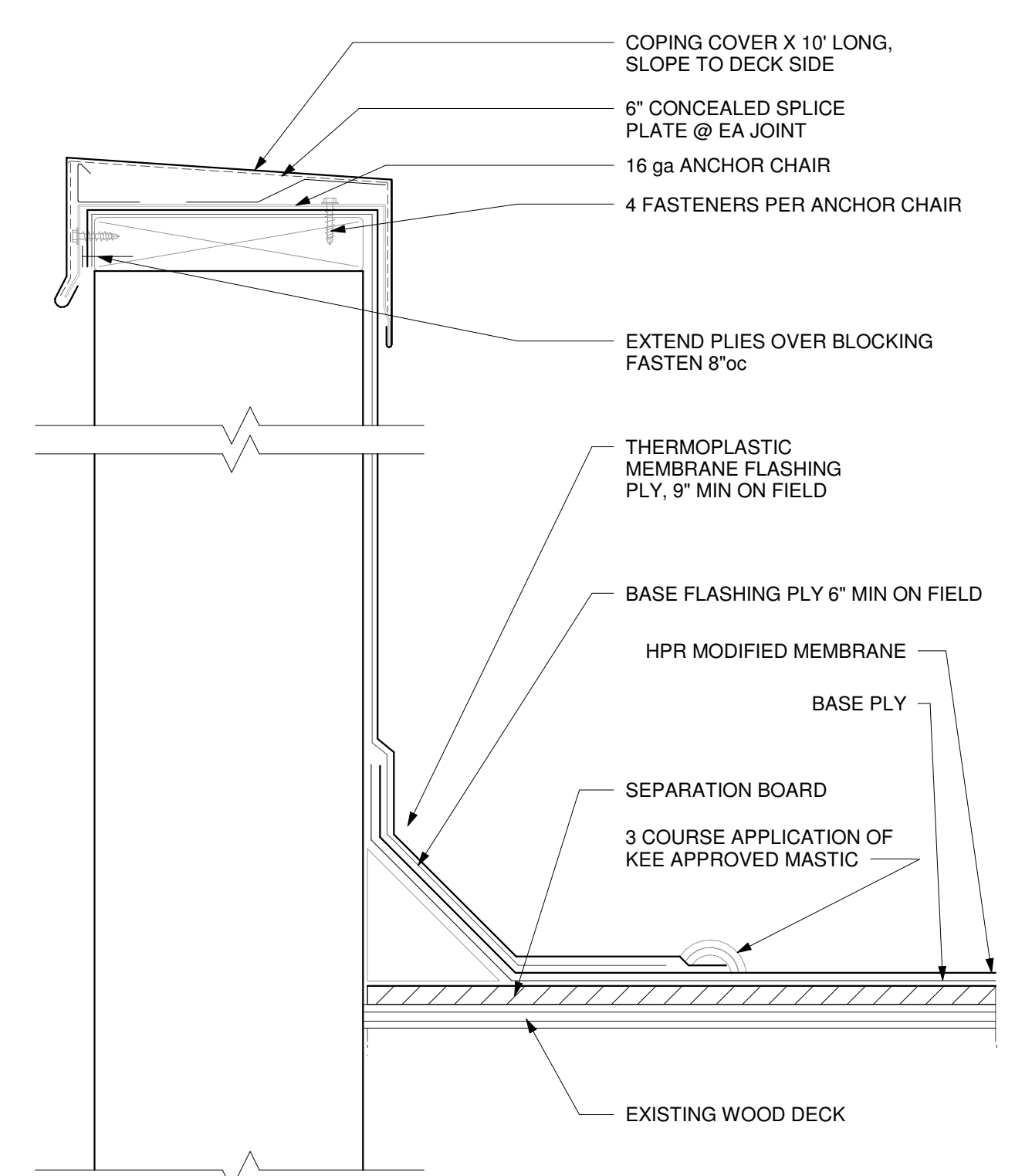
2 EQUIP SUPPORT1  
 3" = 1'-0"



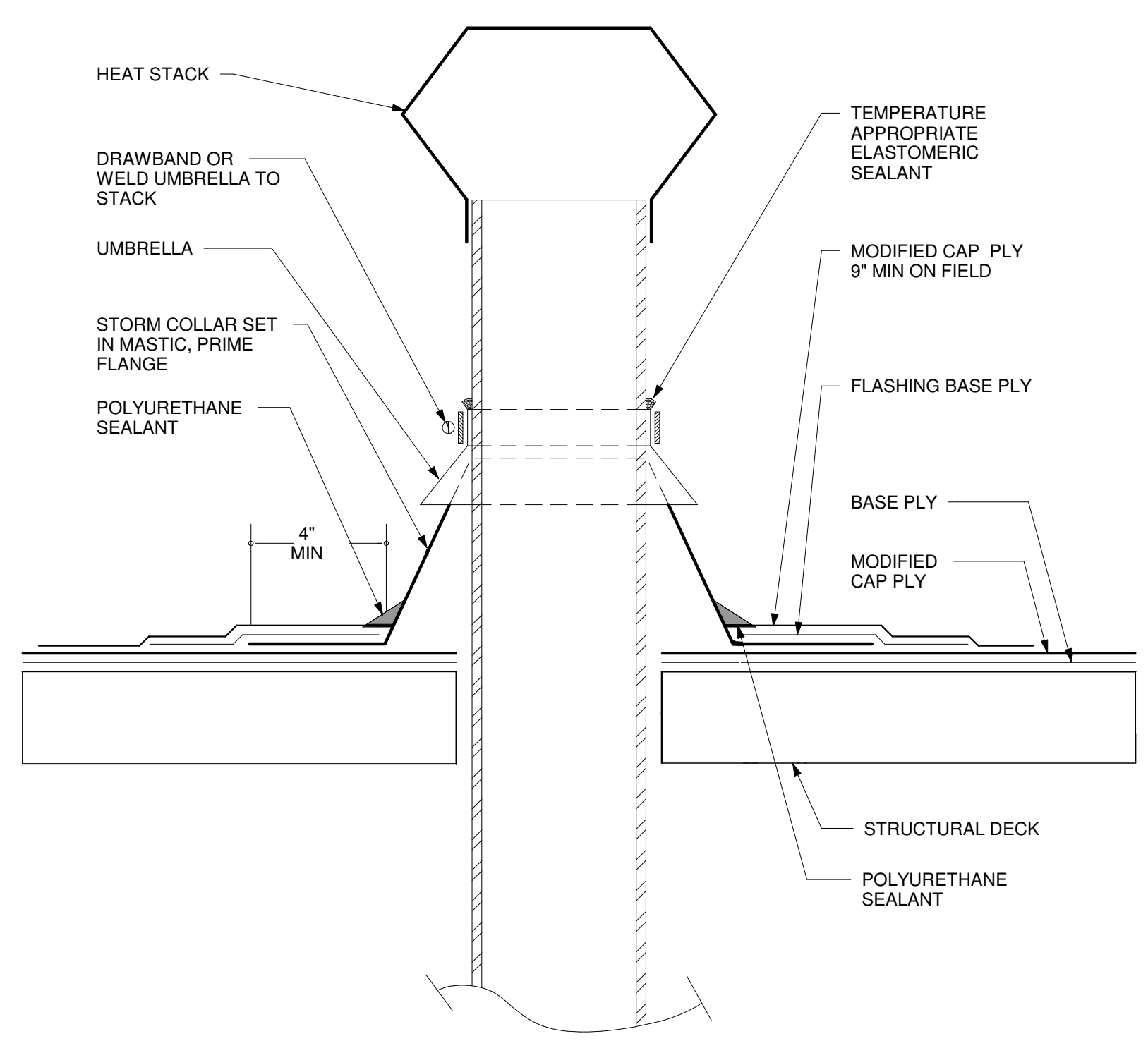
3 EXHAUST FAN1  
 3" = 1'-0"



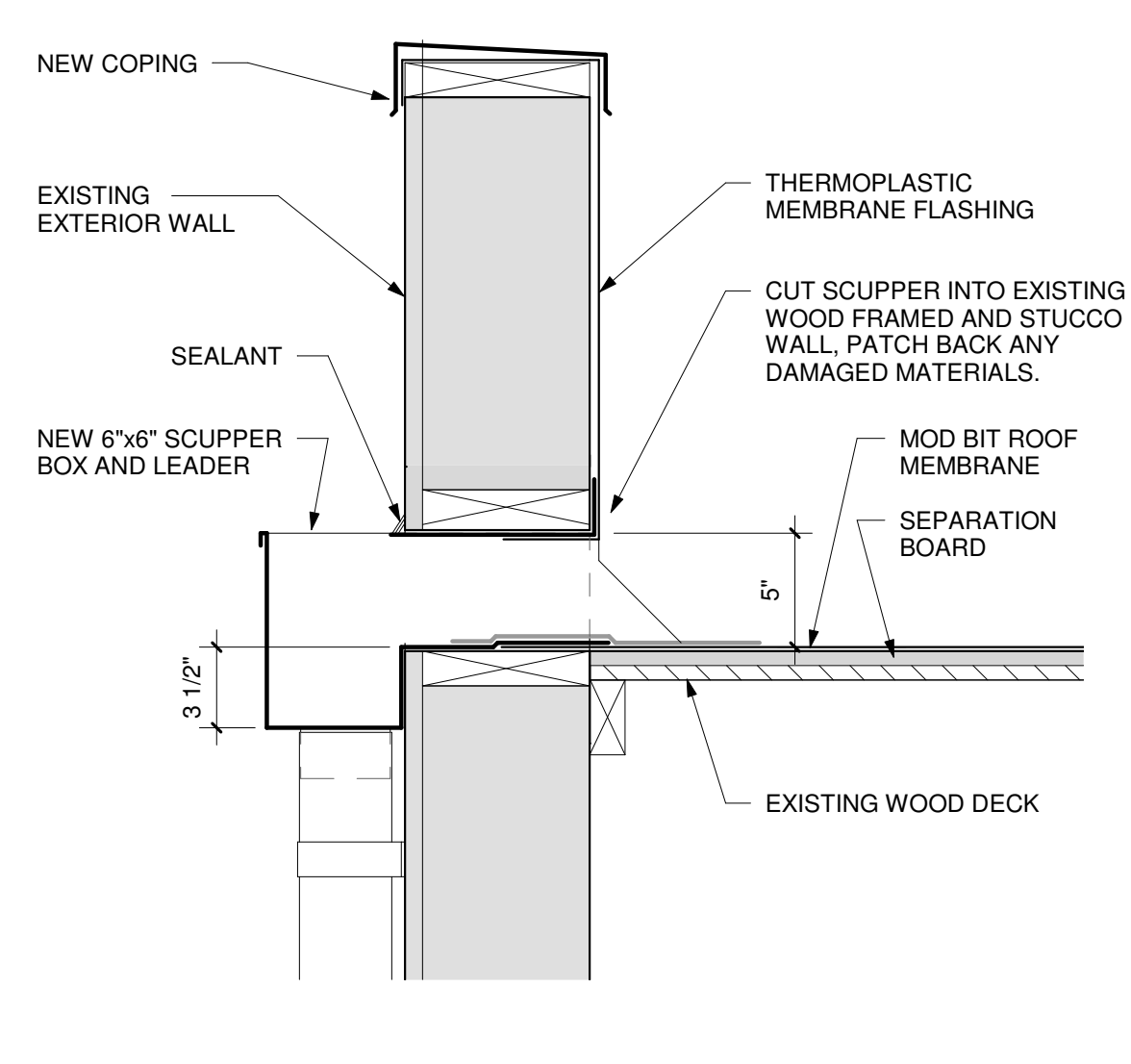
4 PITCH POCKET1  
 3" = 1'-0"



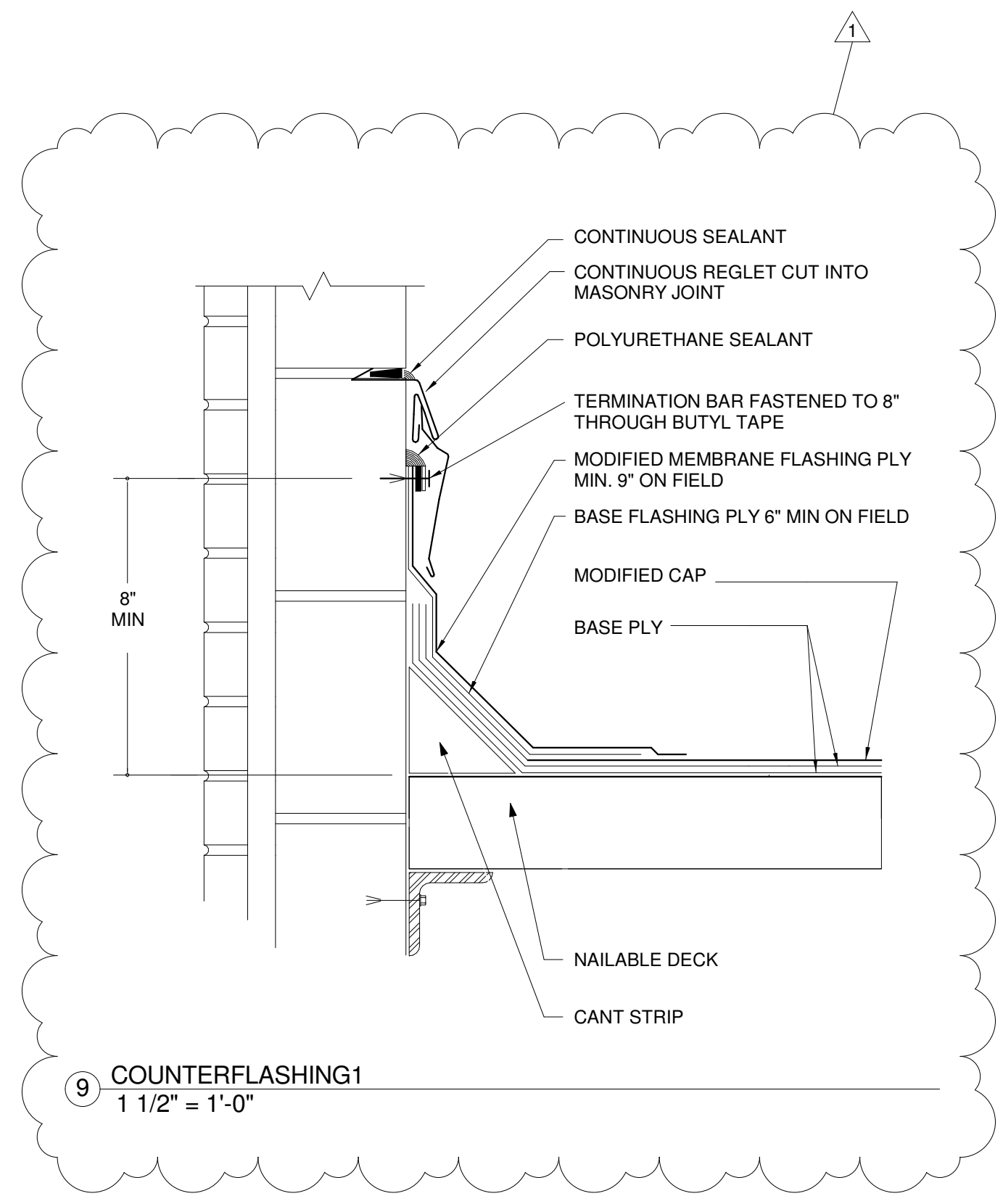
5 COPING DETAIL  
 12" = 1'-0"



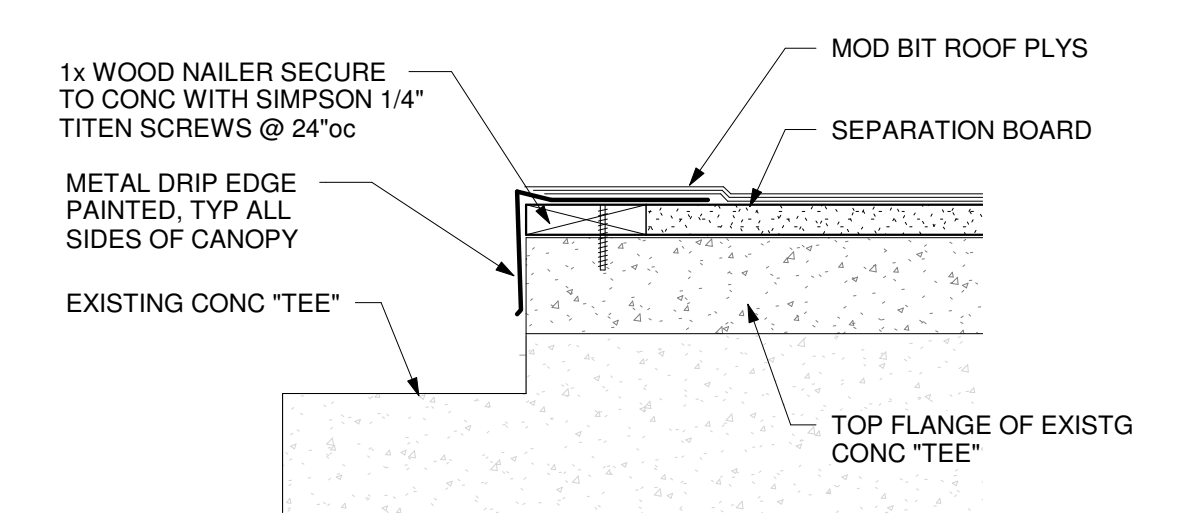
6 STACK1  
 3" = 1'-0"



7 SCUPPER DETAIL  
 1 1/2" = 1'-0"



9 COUNTERFLASHING1  
 1 1/2" = 1'-0"



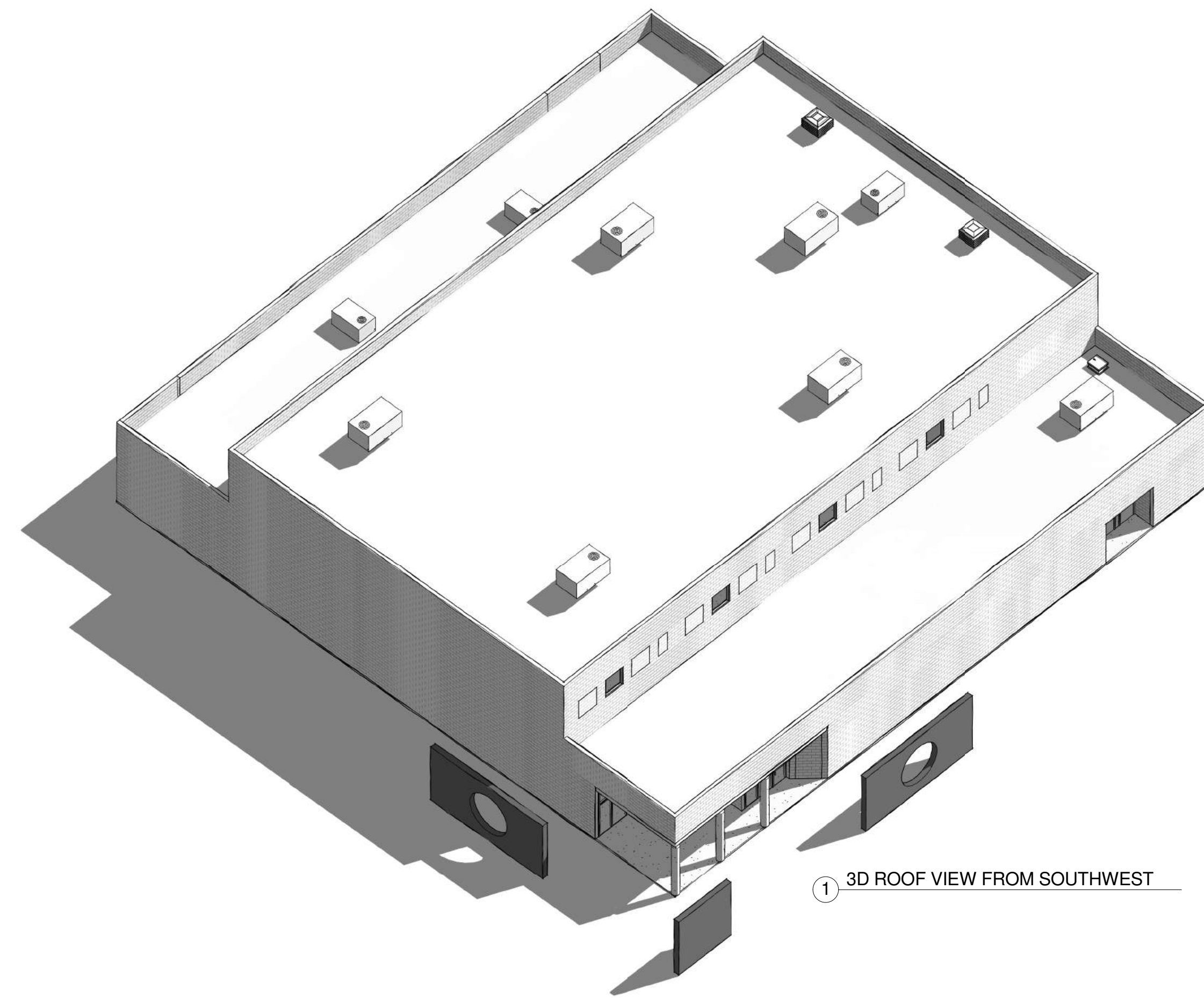
8 EDGE DETAIL  
 3" = 1'-0"



Revision	Revision Date
1	01/09/17
<b>CLARIFICATIONS</b>	
Project number	0502040D1-1001-009
Date	12/13/16
Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	DETAILS



# ELOY JUNIOR HIGH SCHOOL GYMNASIUM WEATHERIZATION & ROOF RESTORATION 876 N. SANTA CRUZ AVE, ELOY AZ DECEMBER 2016



**GENERAL NOTE:**  
TYPICAL AT ALL EXTERIOR WALLS  
REMOVE EARTH OR ASPHALT AGAINST  
BUILDING WALL TO APPROX. 12" BELOW  
ADJACENT GRADE LEVEL PRIOR TO  
CLEANING PREPPING AND COATING.  
EXTEND WALL COATING APPLICATION TO  
FLOOR LEVEL. APPLY THOROSEAL OR  
EQUAL ON CONCRETE STEMWALL FROM  
FLOOR LEVEL TO APPROX 10" BELOW  
GRADE. FILL BACK MATERIAL AT  
COMPLETION OF PROJECT. DISTRICT WILL  
REPLACE ASPHALT WHERE REMOVED.

**DRAWING LIST:**

- A0 PROJECT INFORMATION
- A1 FLOOR PLAN
- A2 ROOF PLAN - DEMOLITION
- A3 ROOF PLAN - NEW
- A4 ELEVATIONS
- A5 SECTIONS AND DETAILS
- S100 ROOF FRAMING PLAN

SFB CONTACT: DAN DEMLAND  
(602) 542-6567

ROOF CONSULTANT: REDTREE CONSULTING  
MIKE CROW  
(602) 989-2433

ARCHITECT: ROBERT POLCAR ARCHITECTS, INC  
BOB POLCAR  
(602) 363-4096

STRUCTURAL: BRODERICK ENGINEERING  
RYAN WENDT  
(520) 887-9416

SFB PROJECT #: 110411105-1005-003-BRG

**PROJECT SCOPE:**

REMOVAL TO THE DECK AND REPLACEMENT OF THE  
ROOF MEMBRANE BOTH LOWER AND UPPER LEVELS.  
REPLACE SHEATHING WHERE DAMAGED.

REMOVAL OF EXISTING BARAMETRIC DAMPERS AND  
EXTERIOR LOUVERS AT UPPER GYM LEVEL AND  
REPLACEMENT WITH SPLIT FACED BLOCK INFILL,  
PROVIDE WINDOWS IN 8 LOCATIONS.

CLEAN ALL EXTERIOR CONCRETE MASONRY UNITS,  
METAL AND STUCCO FINISHES. CLEAN AND REPAIR  
ALL VERTICAL MASONRY CRACKS, REMOVE AND  
REPLACE EXISTING SEALANTS AT ALL  
CONSTRUCTION JOINTS, WINDOW AND DOOR  
FRAMES AND ANY OTHER SEALANTS WHERE THEY  
OCCUR.

PREP, BLOCKFILL AND COAT ALL CONCRETE  
MASONRY UNITS.

PREP AND REPAIR STUCCO WHERE NECESSARY,  
PRIME AND COAT ALL STUCCO FINISHES.

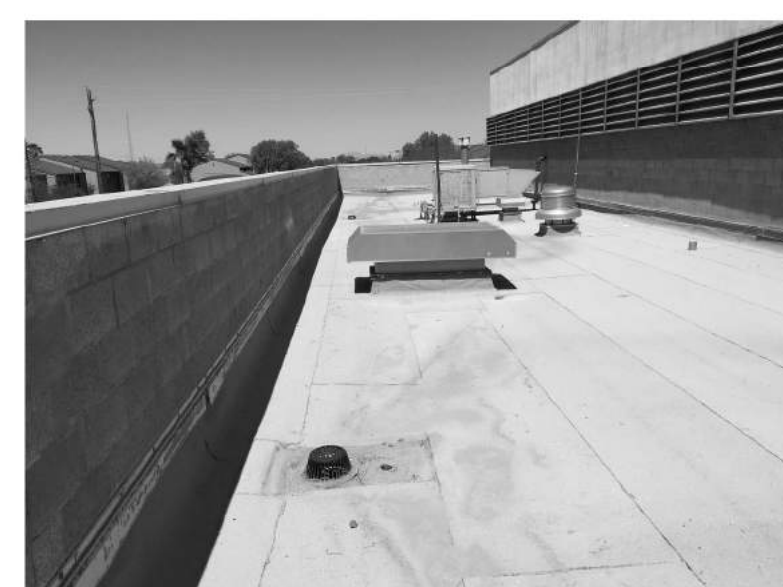
PREP AND PAINT ALL METAL, DOORS, FRAMES,  
WINDOWS, METAL TRIM AND EXPOSED FLASHINGS.

REPAIR EXTERIOR GYP BOARD SOFFITS AND, PRIME  
AND PAINT.

MECHANICAL EQUIPMENT WILL BE REPLACED UNDER  
A SEPARATE BUILDING RENEWAL GRANT FUND, THIS  
PROJECT INCLUDES PATCHING BACK ROOF DECK  
WHERE AFFECTED BY MECHANICAL WORK AND  
PROVIDING NEW CURBS FOR THE NEW MECHANICAL  
EQUIPMENT.



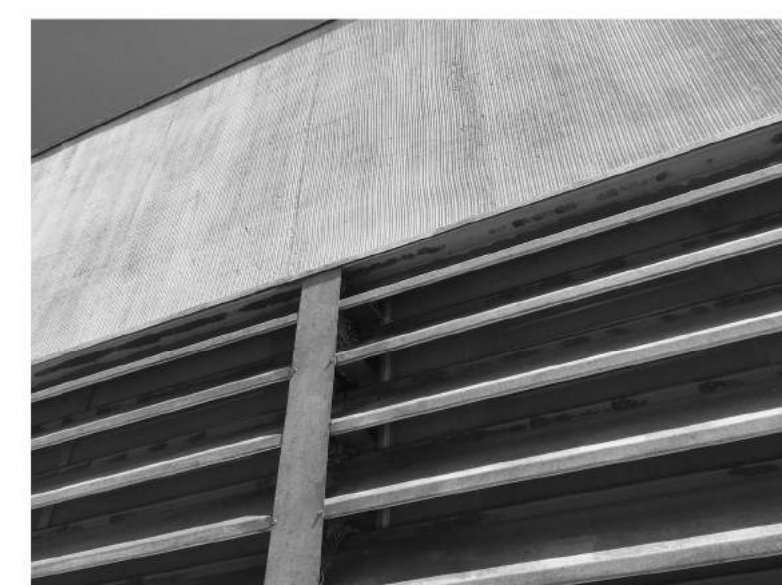
SOUTHEAST CORNER



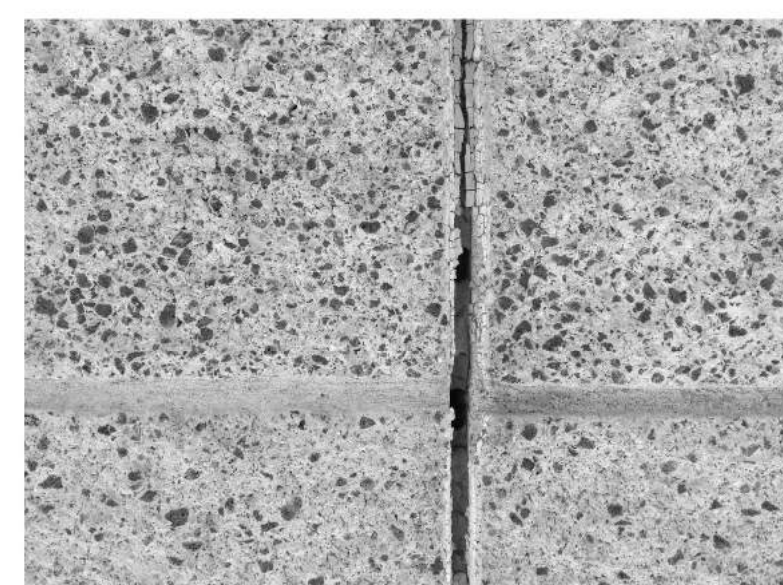
LOWER ROOF LEVEL



UPPER ROOF LEVEL



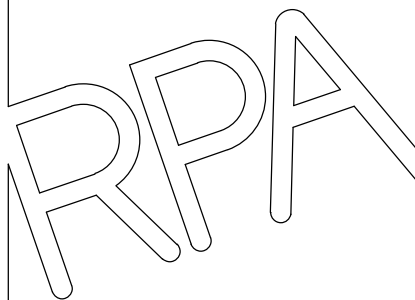
LOUVER DETAIL



BLOCK JOINT DETAIL



METAL FRAME

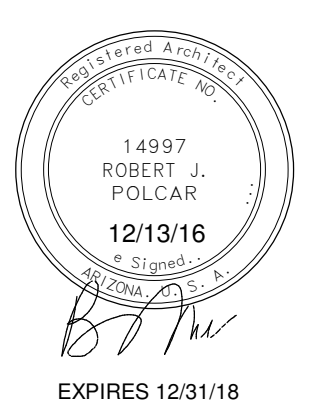


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7845 E. REDFIELD RD STE 100  
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(602) 989-2433

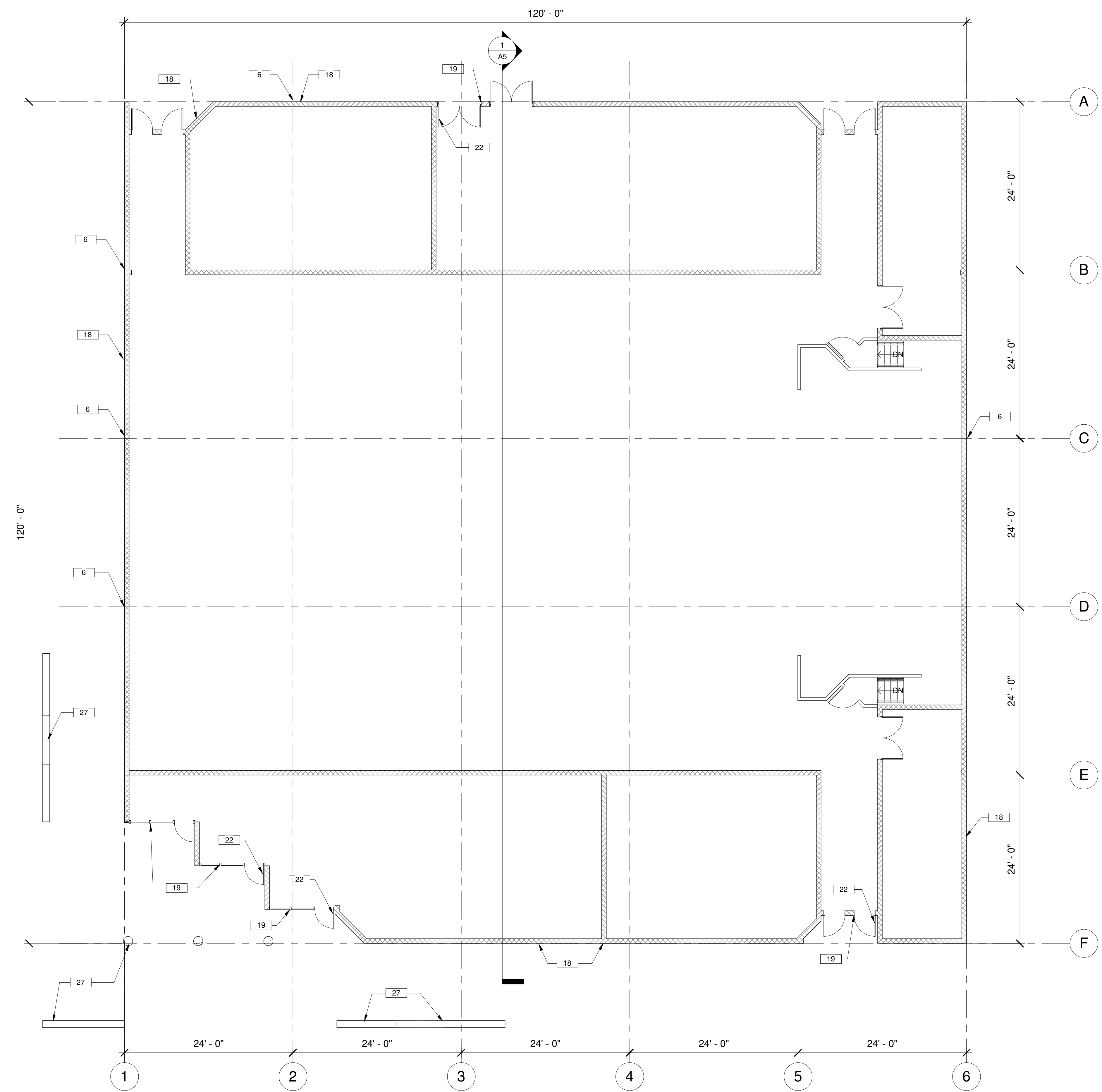
ELOY JUNIOR HIGH SCHOOL  
GYMNASIUM ROOF RESTORATION  
876 N. SANTA CRUZ AVE, ELOY AZ 85131



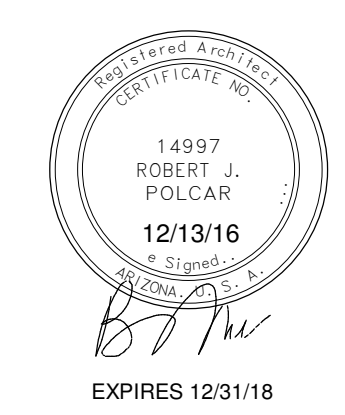
Revision	Revision Date
1	01/09/17
Clarifications	
Project number	110411105-1005-003
Date	12/13/16
Drawn by	CW
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	PROJECT INFO

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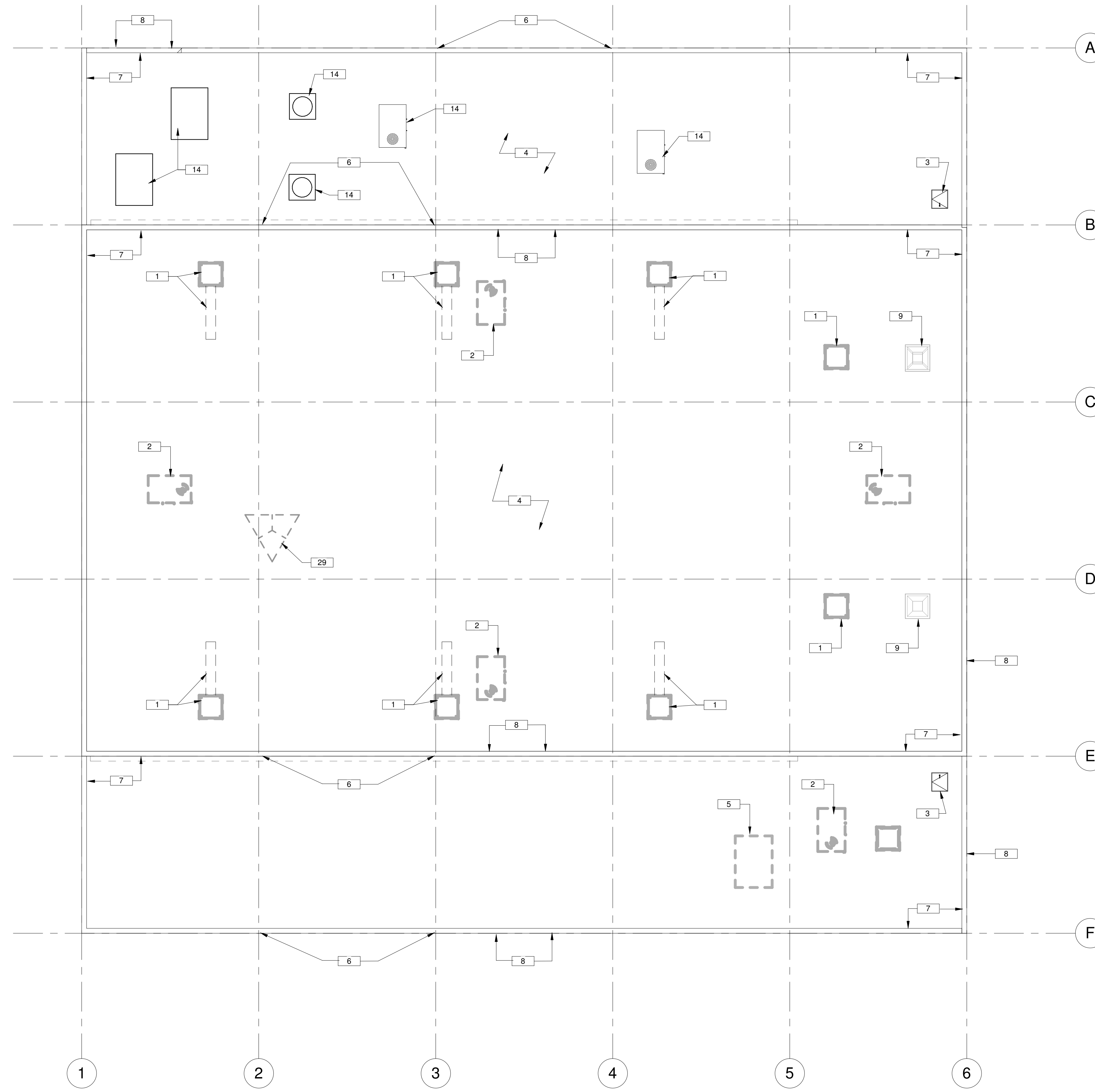
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  - 7 REMOVE AND REPLACE EXISTING COUNTERFLASHING, TYPICAL THROUGHOUT. EXISTING REGLET CAN BE REUSED IF MOUNTING LOCATION COMPLIES WITH ROOF MEMBRANE WARRANTY REQUIREMENTS. IF REGLET IS REUSED REMOVE EXISTING SEALAND AND INSTALL NEW.
  - 8 EXISTING METAL COPING TO REMAIN. CLEAN AND PREP. REMOVE AND INSTALL NEW SEALANTS, SAND, PRIME AND PAINT EXPOSED METAL.
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 1/8" = 1'-0"

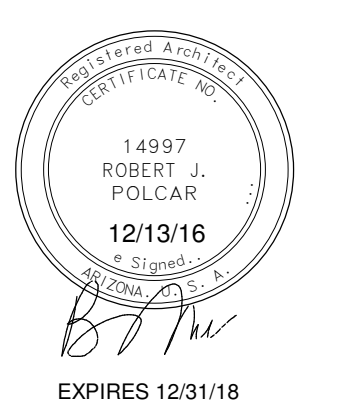
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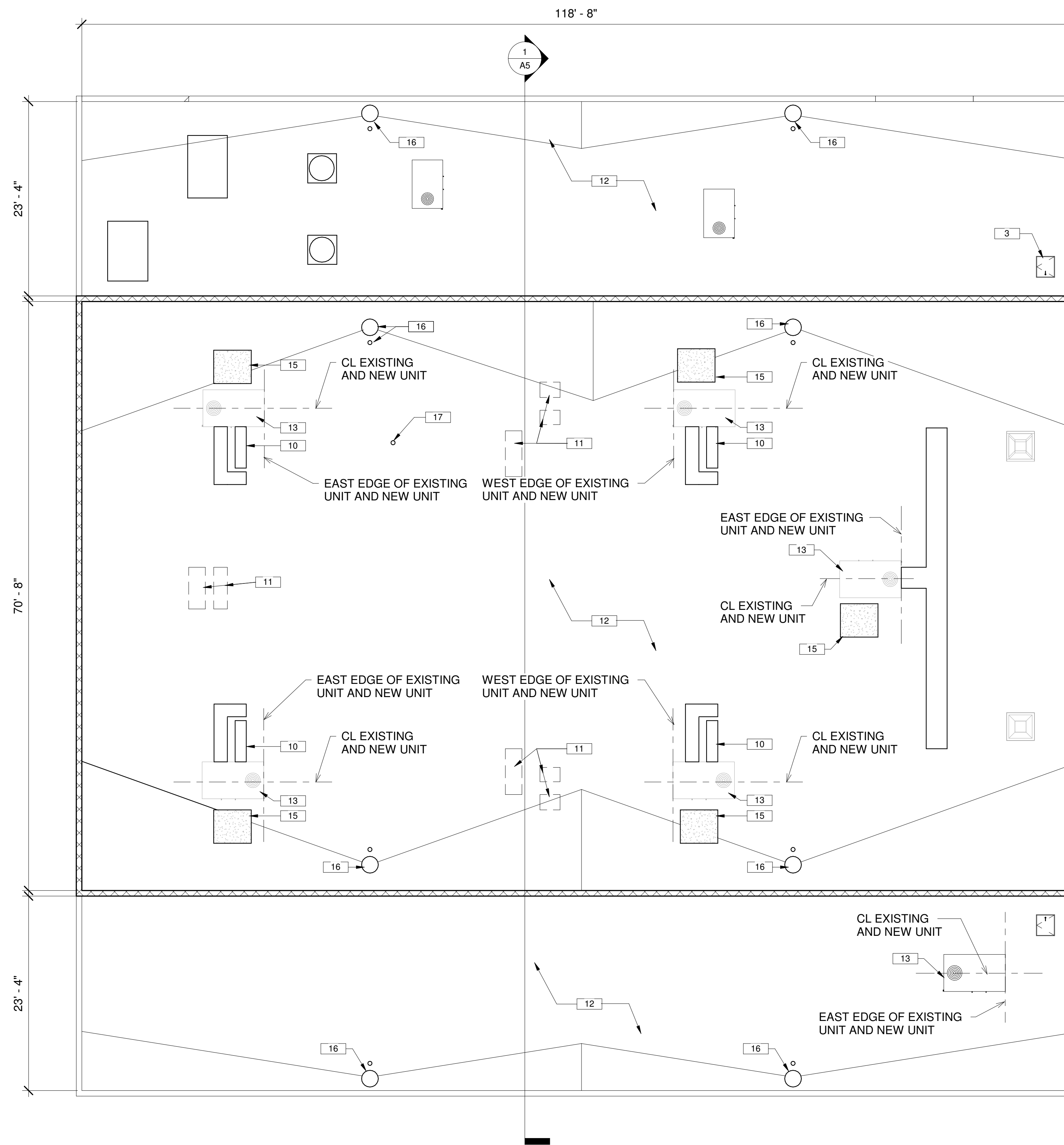
1 ROOF PLAN - DEMOLITION  
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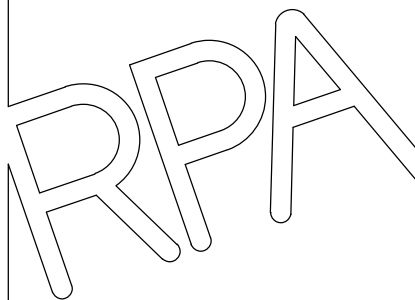
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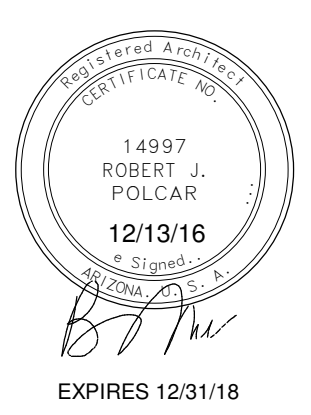


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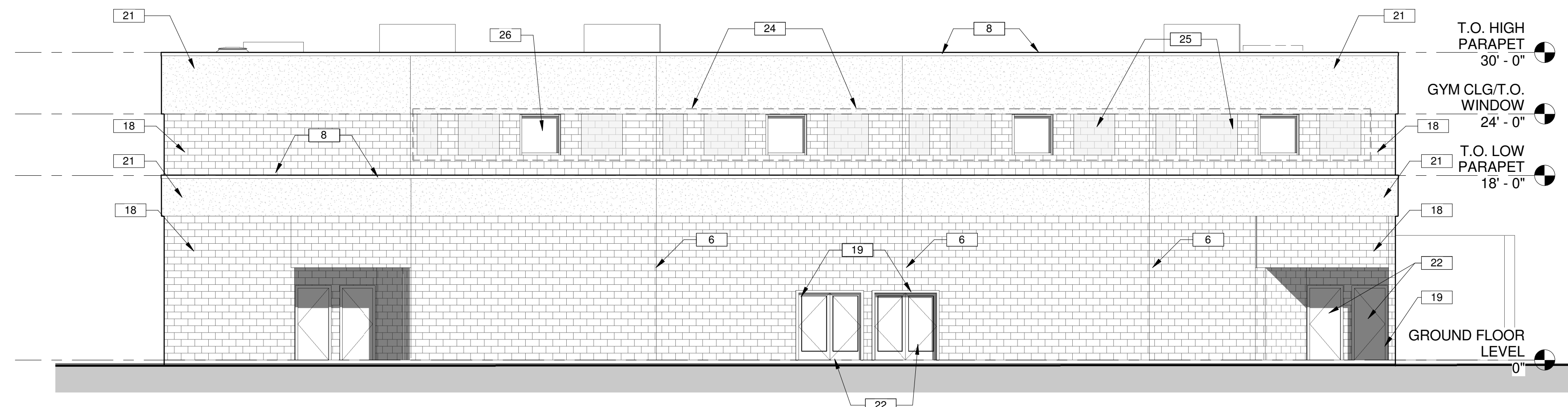


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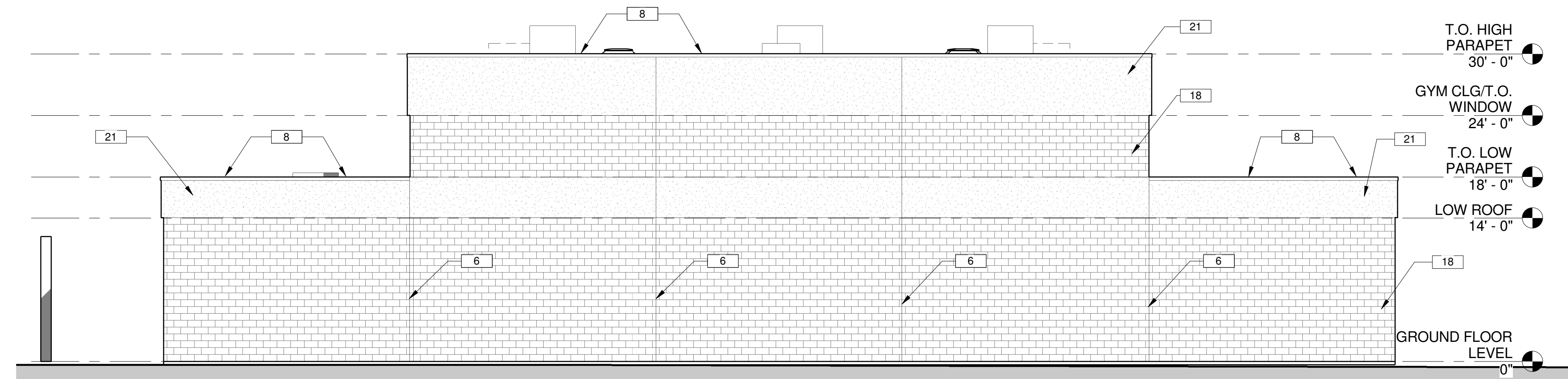
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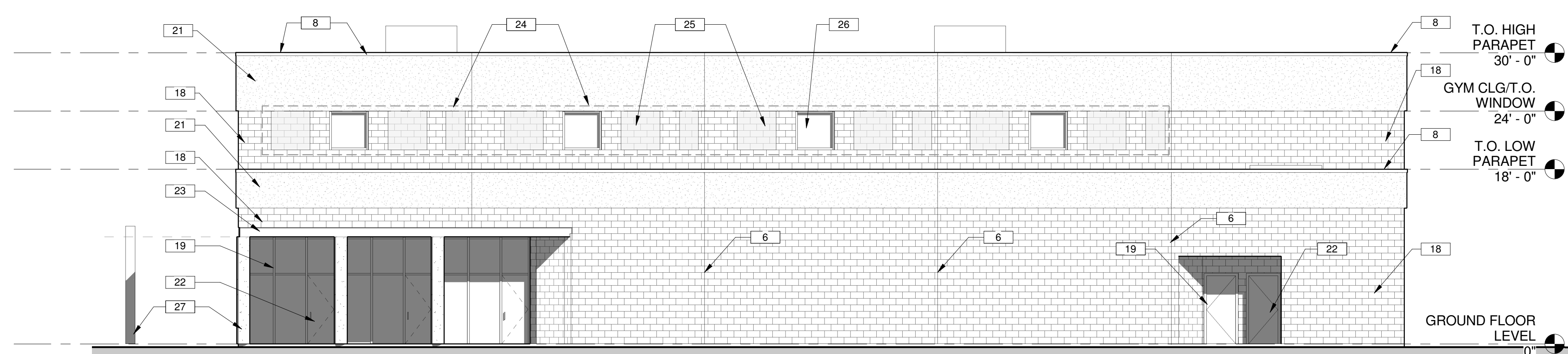




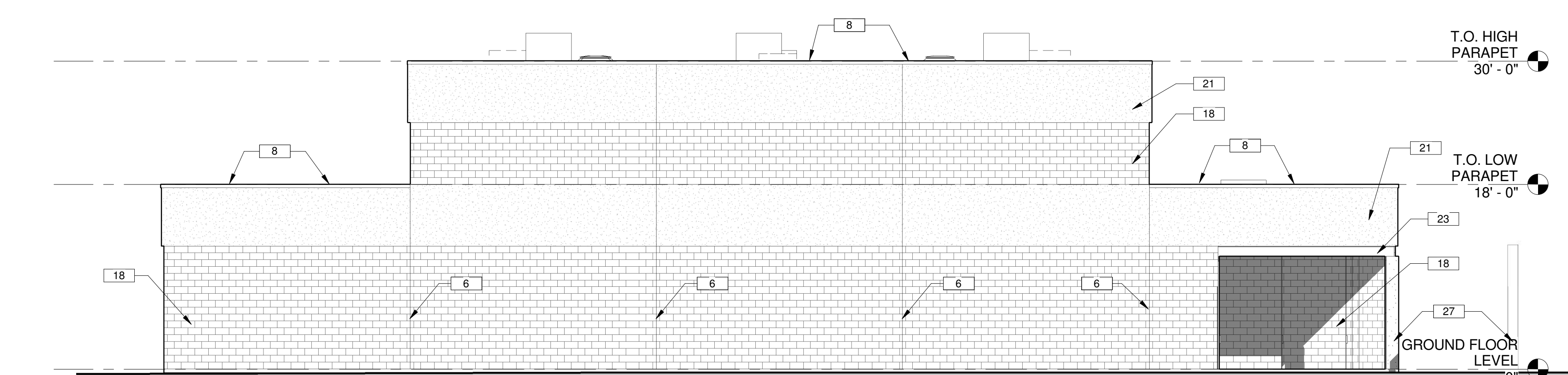
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1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



4 SOUTH ELEVATION  
1/8" = 1'-0"



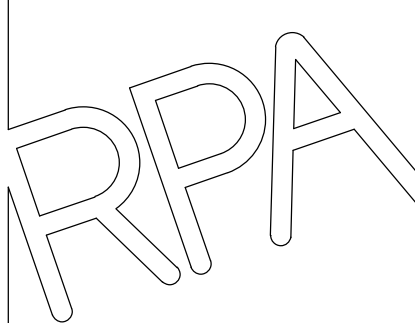
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GENERAL NOTE:  
TYPICAL AT ALL EXTERIOR WALLS  
REMOVE EARTH OR ASPHALT AGAINST  
BUILDING WALL TO APPROX. 12" BELOW  
ADJACENT GRADE LEVEL PRIOR TO  
CLEANING PREPPING AND COATING.  
EXTEND WALL COATING APPLICATION TO  
FLOOR LEVEL, APPLY THOROSEAL OR  
EQUAL ON CONCRETE STEMWALL FROM  
FLOOR LEVEL TO APPROX 10" BELOW  
GRADE. FILL BACK MATERIAL AT  
COMPLETION OF PROJECT. DISTRICT WILL  
REPLACE ASPHALT WHERE REMOVED.

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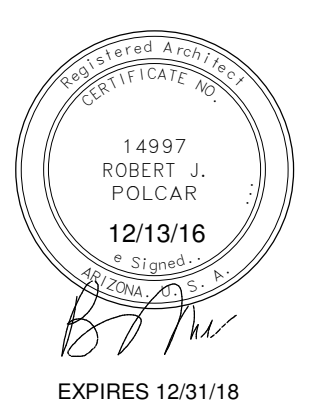


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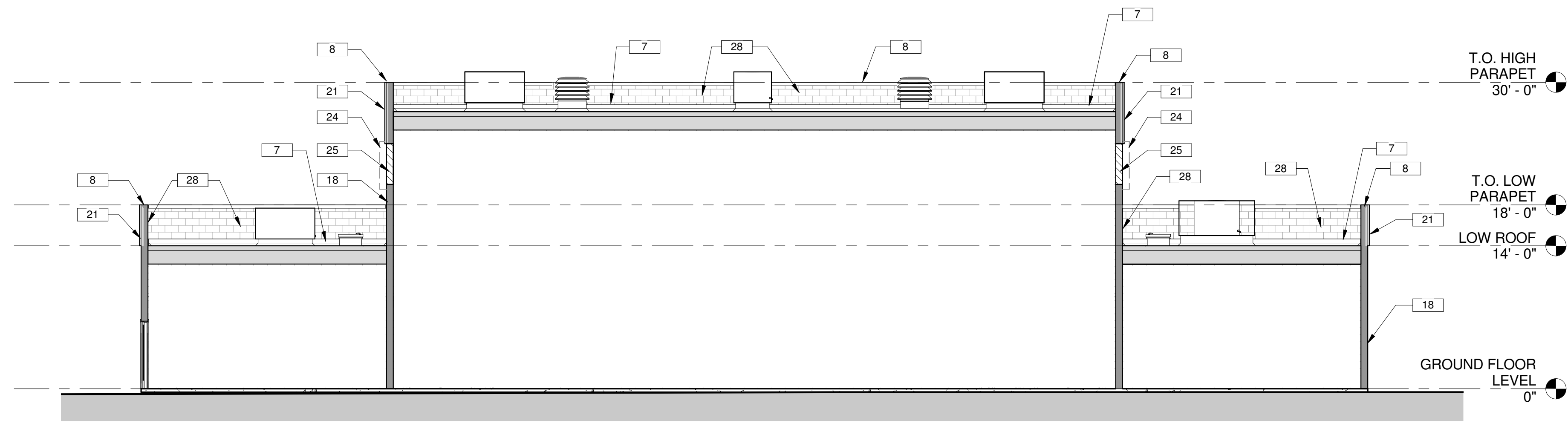


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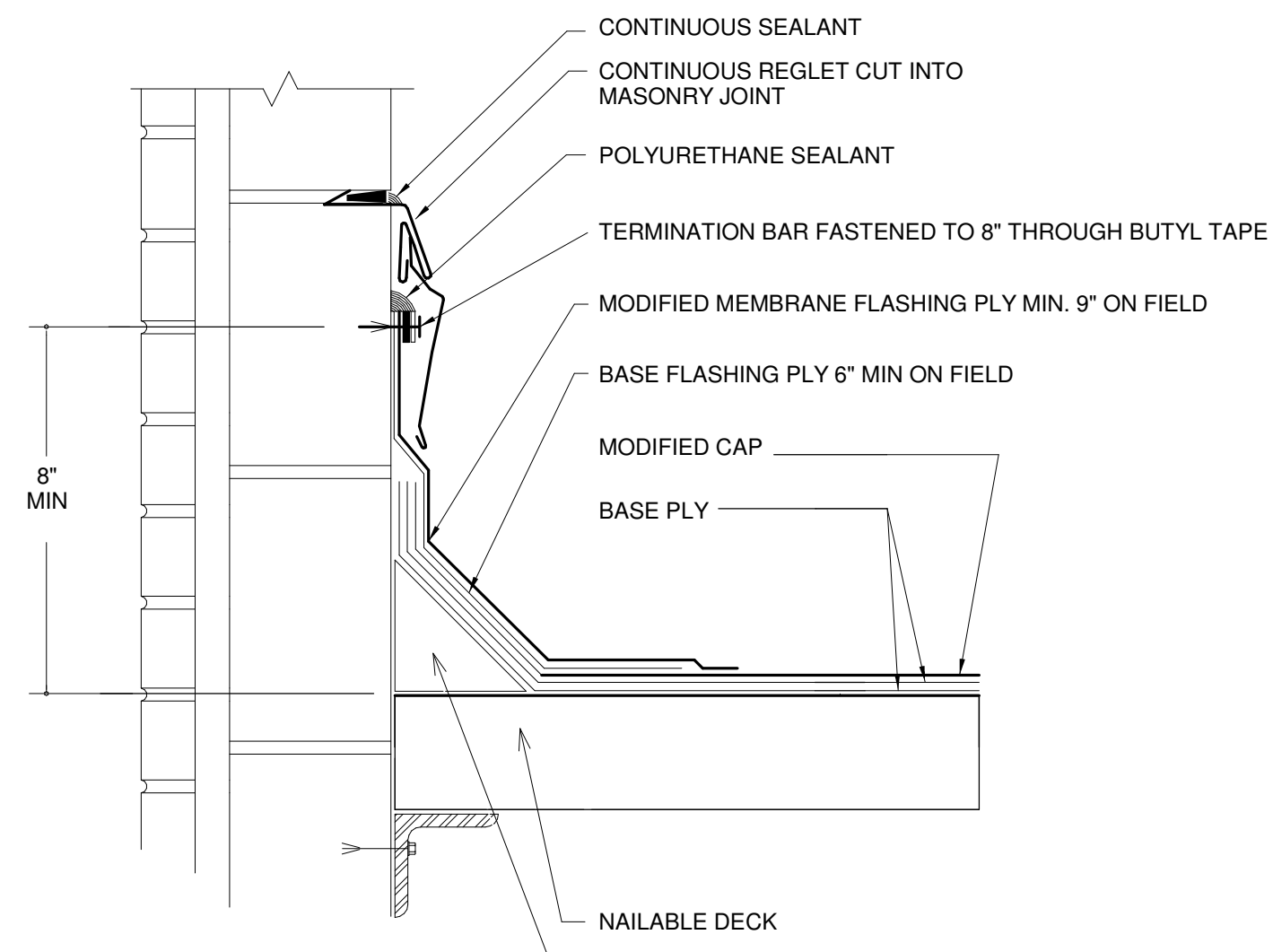
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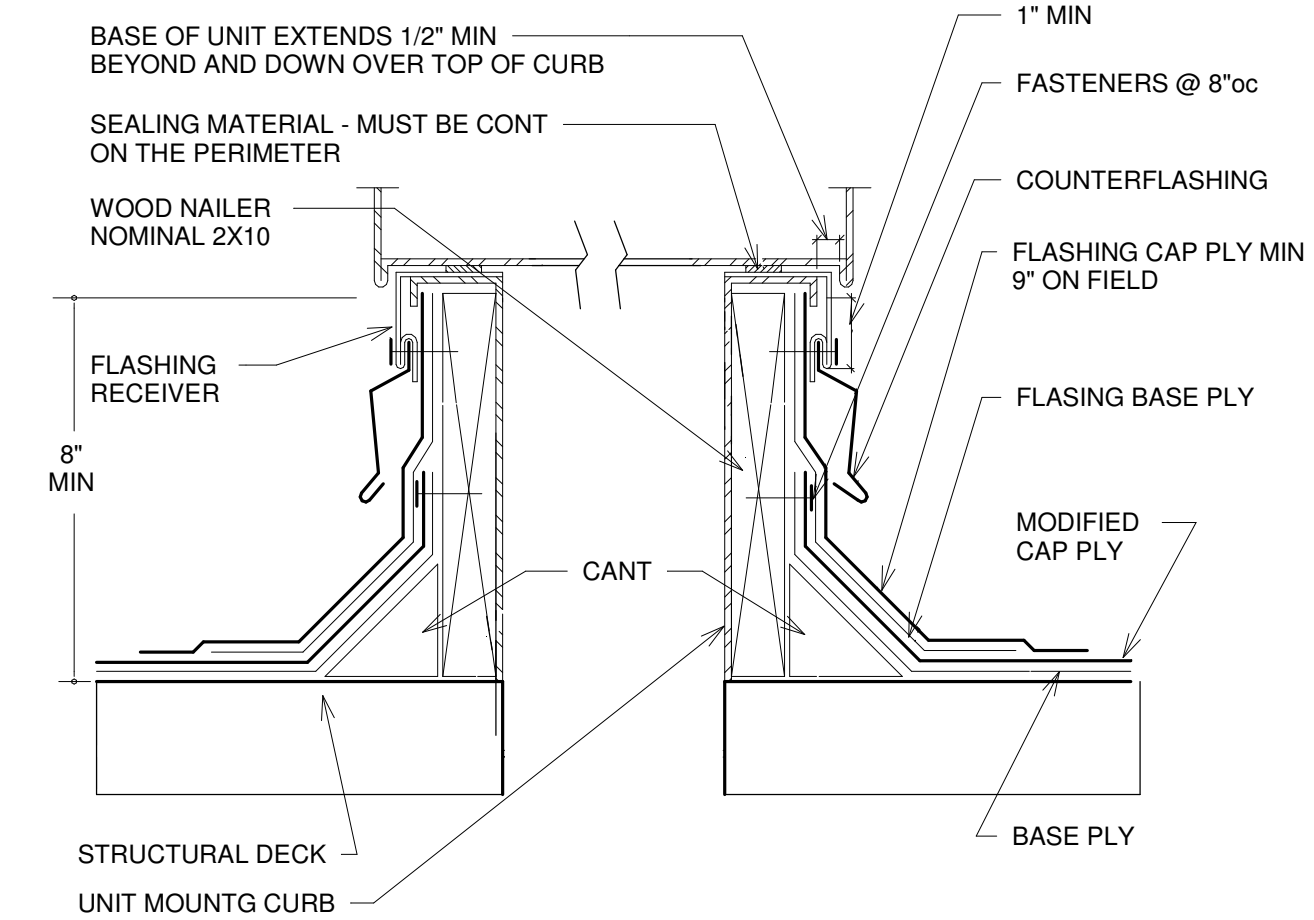
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- 5 EXISTING ABANDONED RELIEF AIR HOOD TO BE REMOVED. PATCH IN DECK TO MATCH ADJACENT.
- 6 EXISTING MASONRY JOINT MATERIAL TO BE REMOVED AND JOINT TO BE CLEANED AND PREPED. INSTALL NEW BACKER ROD AND JOINT MATERIAL AS SPECIFIED.
- 7 REMOVE AND REPLACE EXISTING COUNTERFLASHING, TYPICAL THROUGHOUT. EXISTING REGLET CAN BE REUSED IF MOUNTING LOCATION COMPLIES WITH ROOF MEMBRANE WARRANTY REQUIREMENTS. IF REGLET IS REUSED REMOVE EXISTING SEALANT AND INSTALL NEW.
- 8 EXISTING METAL COPING TO REMAIN. CLEAN AND PREP. REMOVE AND INSTALL NEW SEALANTS, SAND, PRIME AND PAINT EXPOSED METAL.
- 9 EXISTING SMOKE VENT TO REMAIN. REBUILD CURB TO COMPLY WITH ROOF MEMBRANE WARRANTY REQUIREMENTS.
- 10 NEW DUCTWORK. SEE MECHANICAL PLANS. EXISTING ROOF OPENINGS TO BE REUSED. MODIFY OPENING TO MATCH SIZE OF NEW DUCTWORK.
- 11 ROOF DECK TO BE PATCHED TO MATCH ADJACENT AREAS WHERE EXISTING EQUIPMENT HAS BEEN REMOVED.
- 12 INSTALL NEW 2 PLY MODIFIED BITUMINOUS SYSTEM PER SPECIFICATIONS.
- 13 NEW AIR CONDITIONING UNIT ON NEW CURB, SEE MECHANICAL PLANS FOR EXACT QUANTITY AND LOCATIONS. SEE ARCH DETAILS FOR CURB FLASHINGS.
- 14 EXISTING EQUIPMENT REMAINS. ADJUST CURBS WHERE NECESSARY TO COMPLY WITH ROOF MEMBRANE WARRANTY REQUIREMENTS.
- 15 PROVIDE NEW WALKPAD ADJACENT TO MECHANICAL UNIT AT MAINTENANCE ACCESS POINT. TYPICAL FOR ALL.
- 16 CLEAN EXISTING ROOF DRAINS AND OVERFLOWS TO INSURE PROPER OPERATION. REPLACE ANY MISSING OR DAMAGED DRAIN BASKETS, REPAIR OVERFLOWS WHERE DAMAGED.
- 17 ANY EXISTING ABANDONED PITCH POCKETS, CURBS, EXHAUST FANS/VENTS OR COVER PANS ARE TO BE REMOVED AND DECK PATCHED IN.
- 18 EXISTING SPLIT FACE CMU. WASH, PREP, PRIME AND COAT, COLOR TO MATCH EXISTING.
- 19 METAL WINDOW AND DOOR FRAMES. REMOVE BUILDING SEALANTS. CLEAN JOINT AND INSTALL NEW SEALANT. CLEAN METAL, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- 21 EXISTING STUCCO FINISH. CLEAN, REPAIR CRACKS AND HOLES. PREP AND APPLY COATING.
- 22 HOLLOW METAL DOORS. PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- 23 EXISTING METAL TRIM OR FLASHING. REMOVE AND REPLACE SEALANTS. CLEAN, PREP, PRIME AND PAINT WHERE EXPOSED. COLOR TO MATCH EXISTING.
- 24 EXISTING BAROMETRIC DAMPERS AND EXTERIOR LOUVERS TO BE REMOVED. REPAIR DAMAGED STUCCO OR CMU.
- 25 INSTALL NEW SPLIT FACED CMU IN EXISTING OPENINGS, SEAL AND COAT TO MATCH ADJACENT. PREP AND PAINT INTERIOR SURFACE TO MATCH INTERIOR GYM COLOR AND FINISH.
- 26 INSTALL NEW WINDOW, FIELD VERIFY SIZE, APPROXIMATE DIMENSIONS 4'x4', 1" INSULATED TINTED GLASS IN BRONZE ALUMINUM FRAME. TYPICAL AT 4 LOCATIONS EACH SIDE OF GYM.
- 27 CLEAN, PREP, AND PAINT EXISTING CONCRETE ELEMENT. COLOR TO MATCH EXISTING.
- 28 PREP AND COAT BLOCK SURFACES ON INTERIOR OF PARAPET WALLS, FLASHING TO COPING.
- 29 EXISTING SATELLITE DISH AND SUPPORT TO REMAIN. REMOVE FOR CONSTRUCTION AND REPLACE IN EXACT LOCATION. INSTALL WALKPADS UNDERNEATH SUPPORT FRAME.



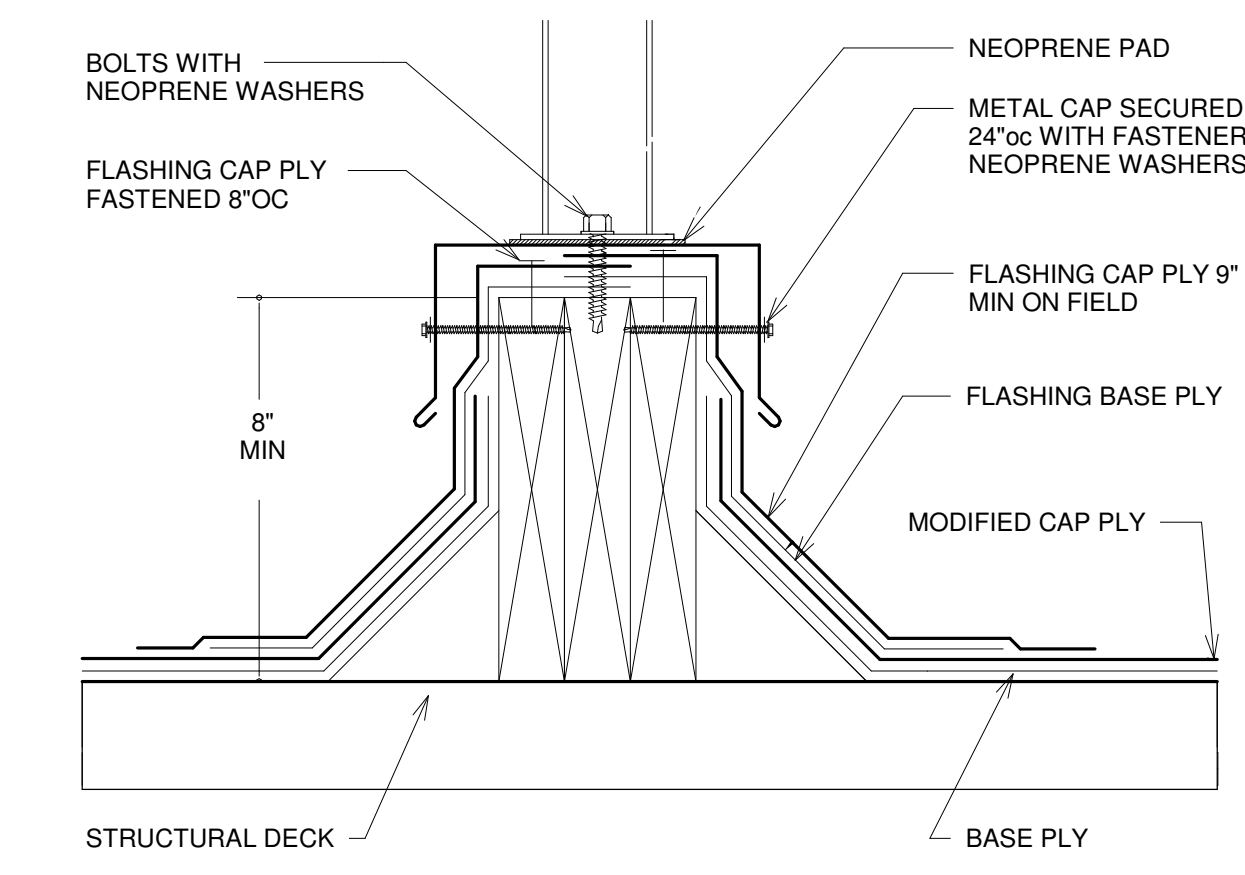
1 SECTION A  
1/8" = 1'-0"



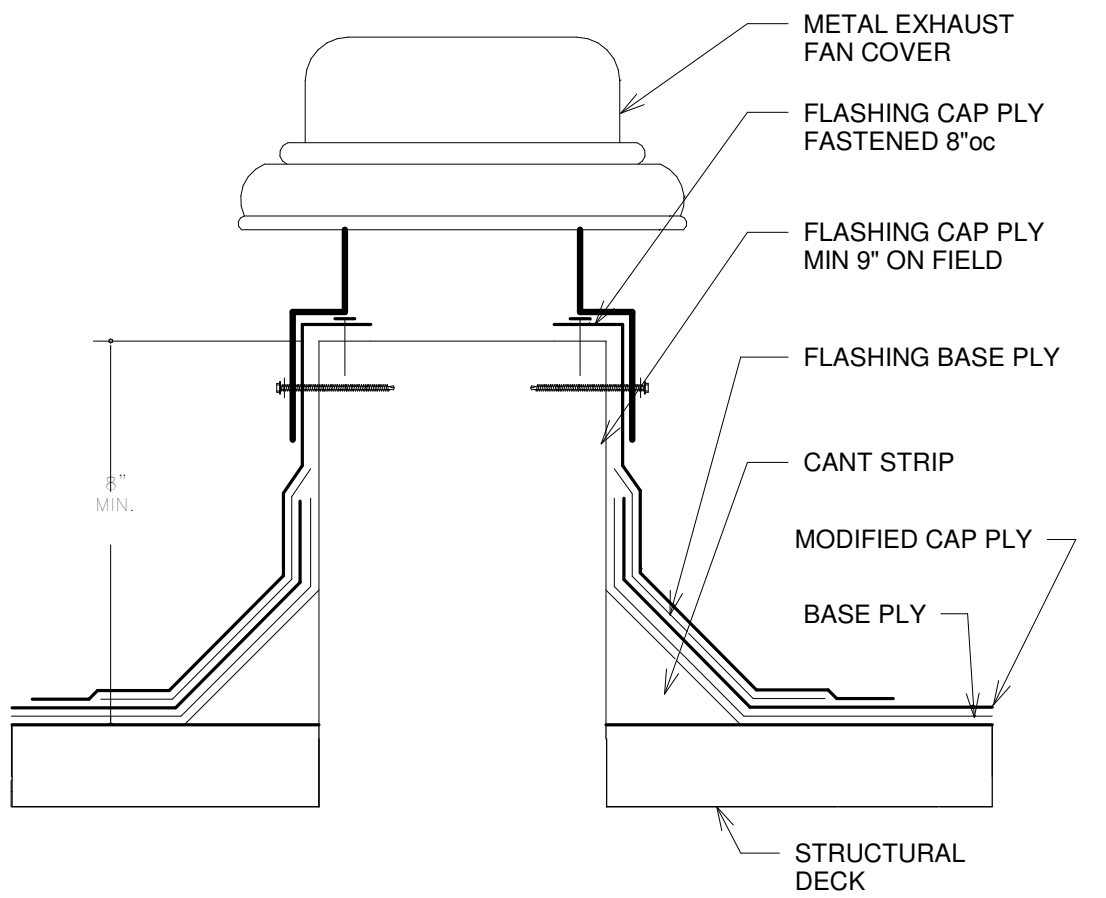
2 COUNTERFLASHING  
1 1/2" = 1'-0"



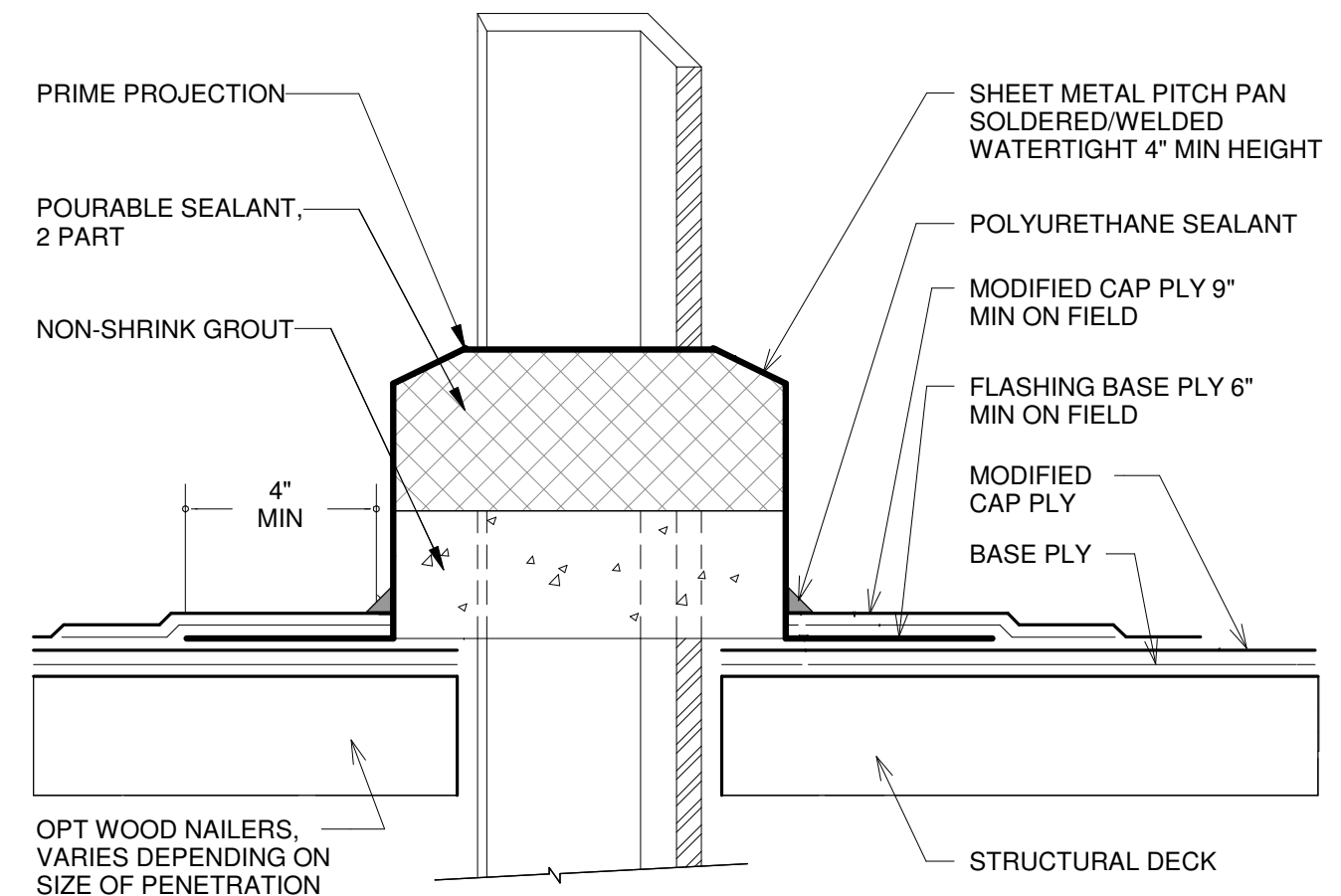
3 CURB  
3" = 1'-0"



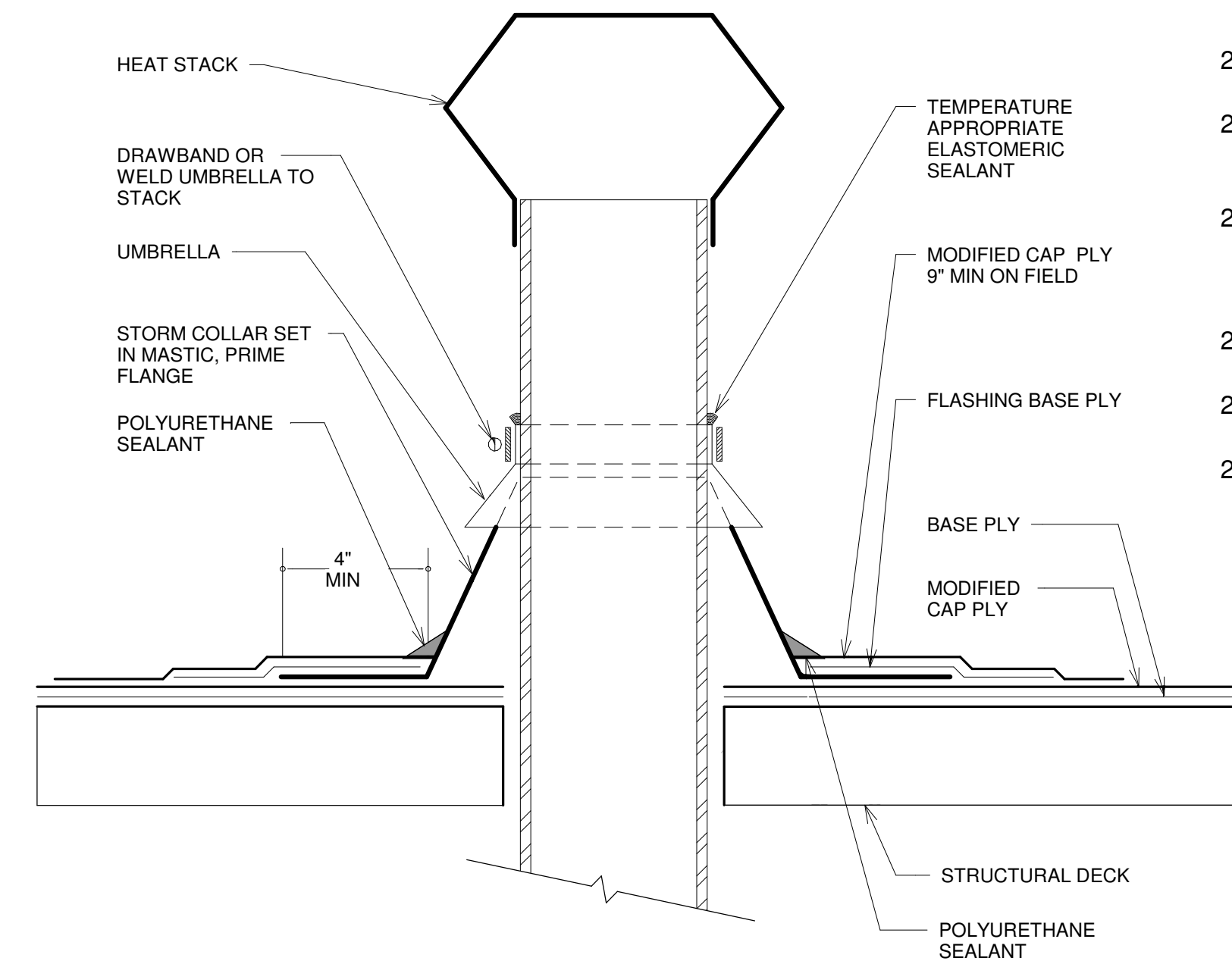
4 EQUIP SUPPORT  
3" = 1'-0"



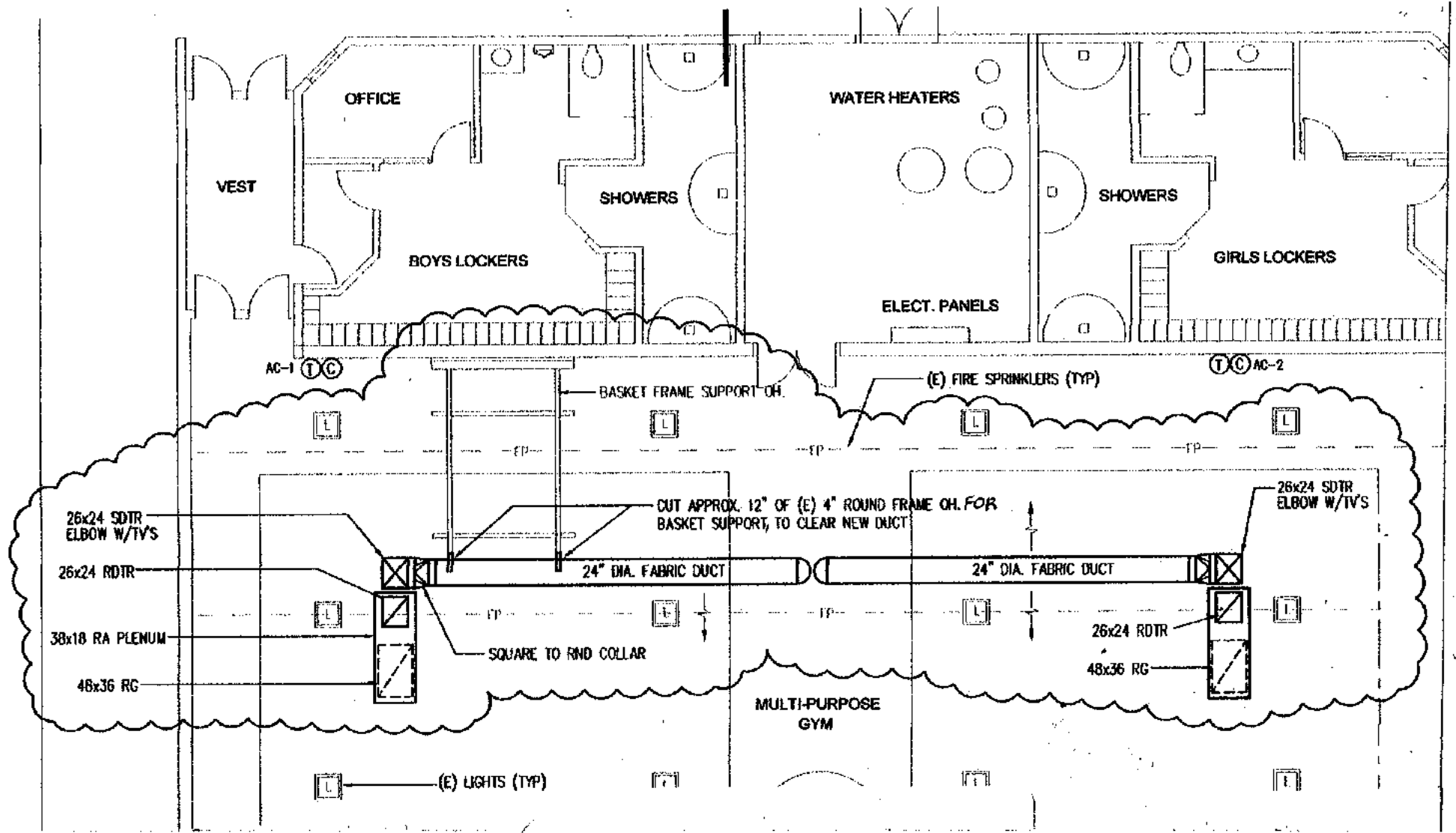
5 EXHAUST FAN  
3" = 1'-0"



6 PITCH POCKET  
3" = 1'-0"



7 STACK  
3" = 1'-0"



# ELOY JHS GYM PARTIAL HVAC PLAN

NTS



PROJECT: ELOY JHS GYM/MPR - HVAC UPGRADES

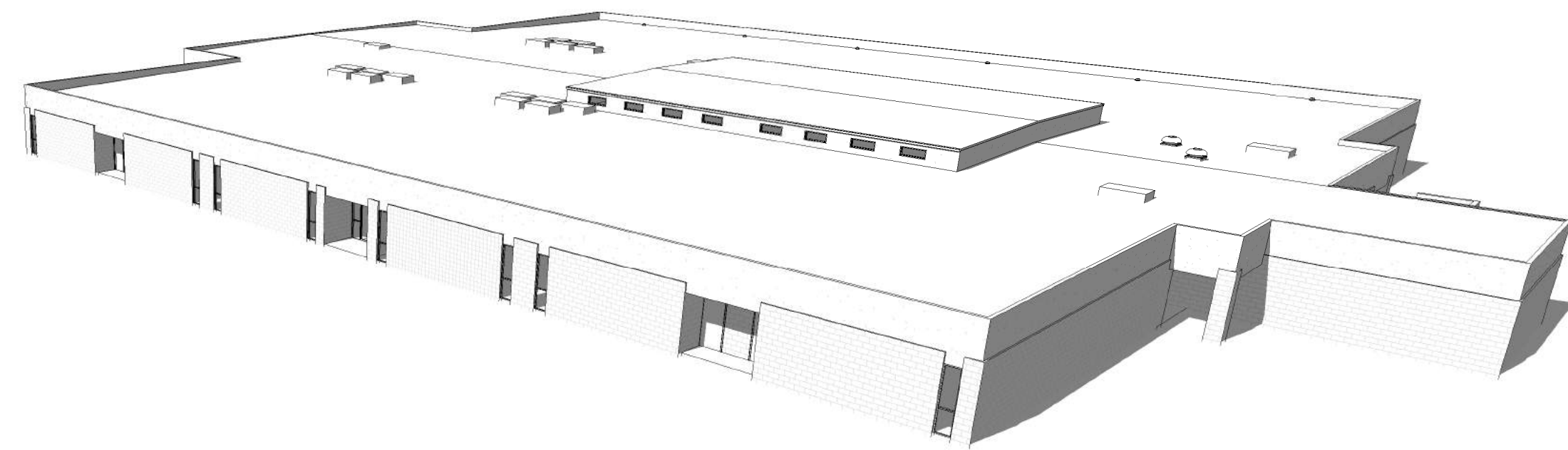
DATE: JAN-05-2017

SUBJECT: AMENDMENT # 4 - PER 1/04/2017 WALK-TRU COMMENTS

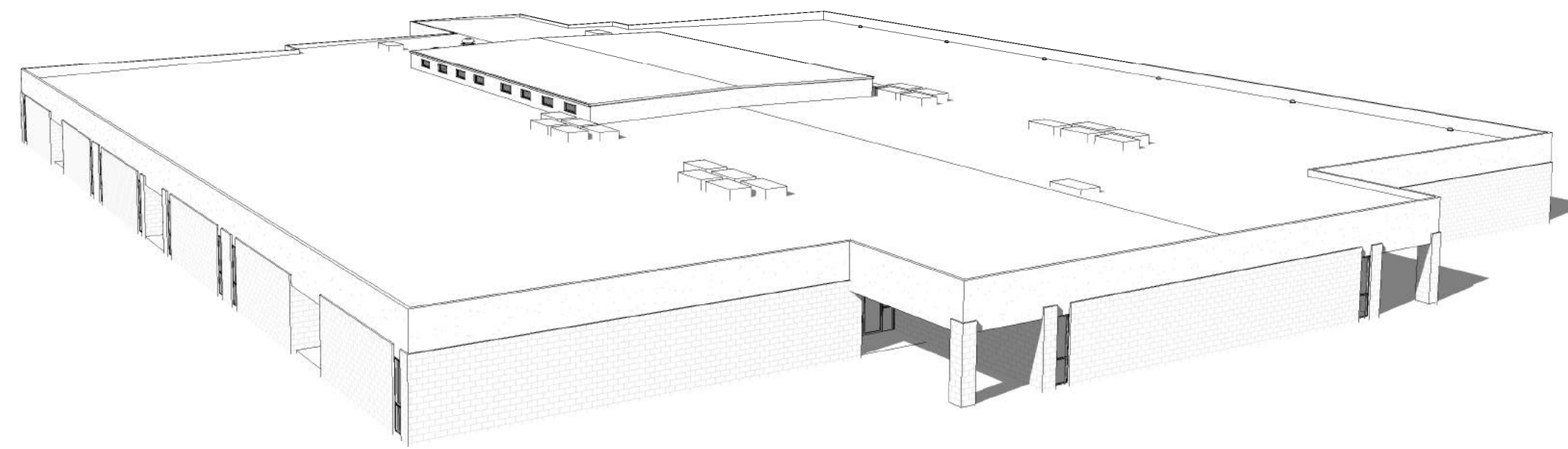
AMENDMENT-4



**BUILDING WEATHERIZATION  
ELOY INTERMEDIATE SCHOOL  
1003 N. SANTA CRUZ AVE.  
ELOY, ARIZONA  
DECEMBER 2016**



① SOUTHEAST CORNER



② NORTHWEST CORNER

SFB CONTACT: DAN DEMLAND  
(602) 542-6567

ROOF CONSULTANT: MICHAEL CROW  
REDTREE CONSULTING  
(602) 989-2433

ARCHITECT: ROBERT POLCAR ARCHITECTS  
(602) 363-4096

SFB PROJECT #: 110411104-9999-001

**PROJECT SCOPE:**

CLEAN ALL EXTERIOR MASONRY, METAL AND STUCCO FINISHES. CLEAN AND REPAIR ALL VERTICAL MASONRY CRACKS. REMOVE AND REPLACE EXISTING SEALANTS AT ALL CONSTRUCTION JOINTS, WINDOW AND DOOR FRAMES, AND ANY OTHER SEALANTS WHERE THEY OCCUR.

PREP, BLOCKFILL AND COAT ALL CONCRETE MASONRY UNITS.

PREP AND REPAIR STUCCO WHERE NECESSARY, PRIME AND COAT ALL STUCCO FINISHES.

AT UPPER ROOF CLERESTORY WINDOW LOCATION, REMOVE AND REPLACE WINDOWS AND WINDOW FLASHINGS, REPAIR AND COAT STUCCO, REMOVE AND REPLACE SEALANTS, REMOVE AND REPLACE EXISTING GUTTER AND DOWNSPOUTS, PROVIDE ADDITIONAL WALKPAD MATERIAL TO ACT AS SPLASHBLOCK AT DOWNSPOUT.

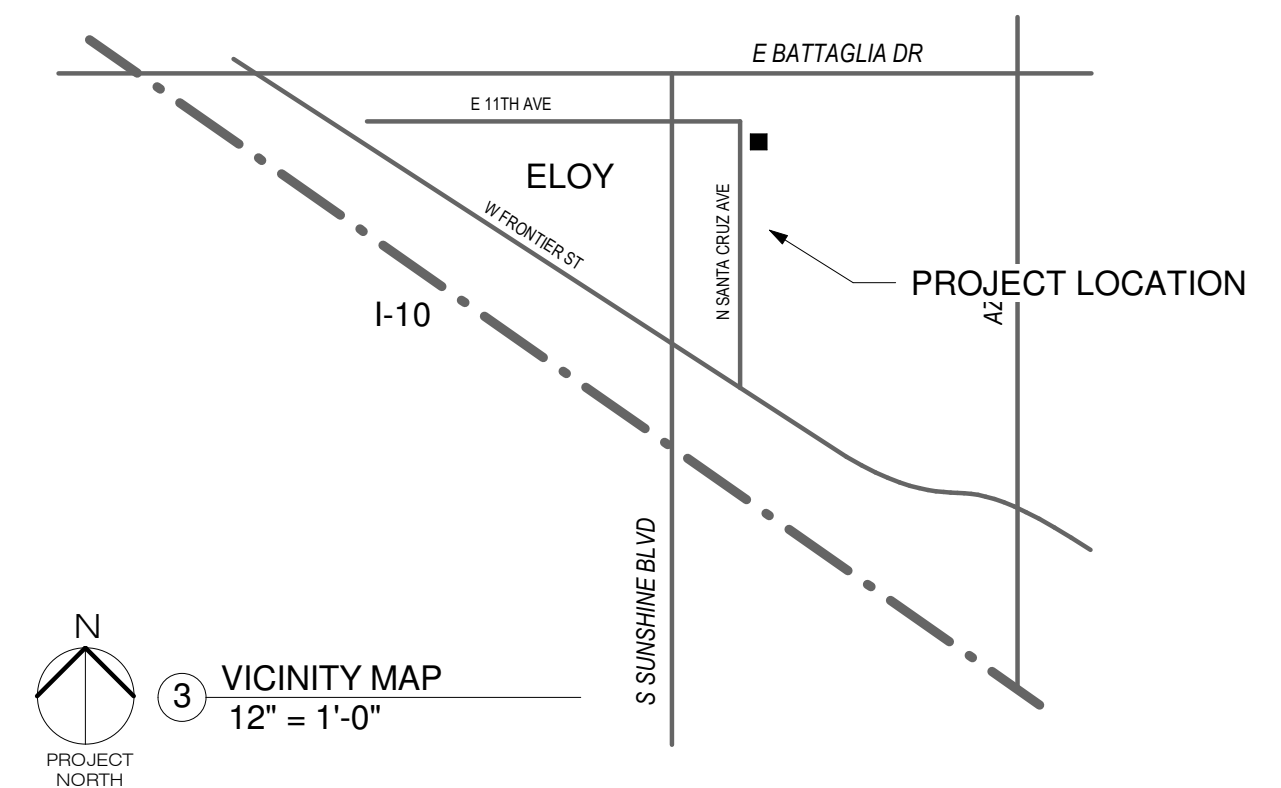
PREP AND PAINT ALL METAL, DOORS, FRAMES, WINDOWS, METAL TRIM AND EXPOSED FLASHINGS.

INSTALL A NEW METAL PARAPET COPING AT THE LOWER ROOF LEVELS.

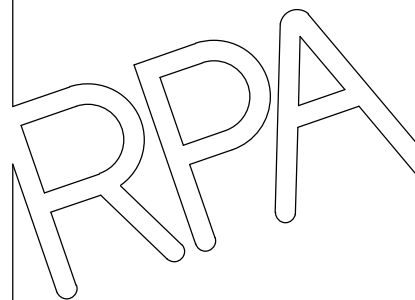
REPAIR EXTERIOR GYP BOARD SOFFITS, PRIME AND PAINT.

**DRAWING LIST:**

- A1 PROJECT INFORMATION
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 DETAILS



③ VICINITY MAP  
12" = 1'-0"



ROBERT POLCAR ARCHITECTS, INC  
(480) 675-9760 (602) 363-4096  
SCOTTSDALE, ARIZONA



7845 E. REDFIELD RD STE 100  
SCOTTSDALE, AZ 85260  
(602) 989-2433

**ELOY ELEMENTARY DISTRICT  
INTERMEDIATE SCHOOL WEATHERIZATION  
1003 N. SANTA CRUZ AVE, ELOY, AZ**



Revision	Revision Date
Project number	110411104-9999-001
Date	12/13/16
Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	PROJECT INFO

**A1**



EAST SIDE



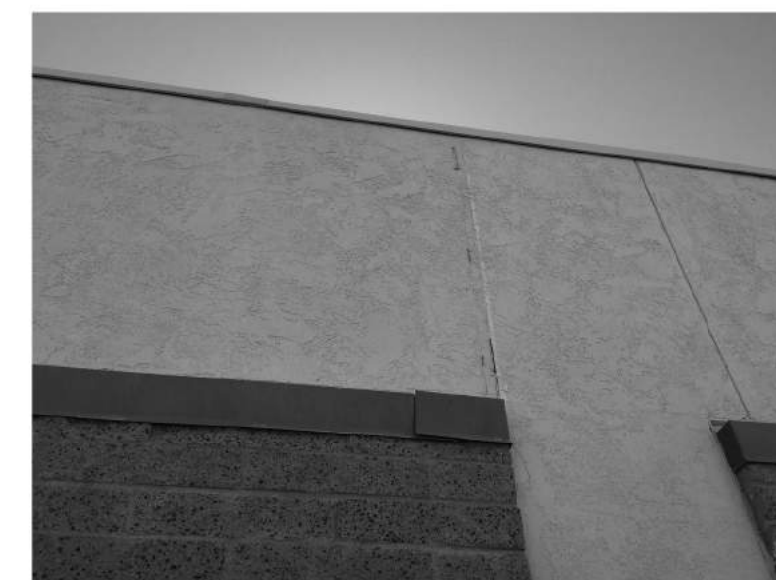
TYPICAL ELEVATION



ENTRY SOFFIT,  
DOORS AND FRAMES



UPPER LEVEL CLERESTORY



BLOCK TO STUCCO



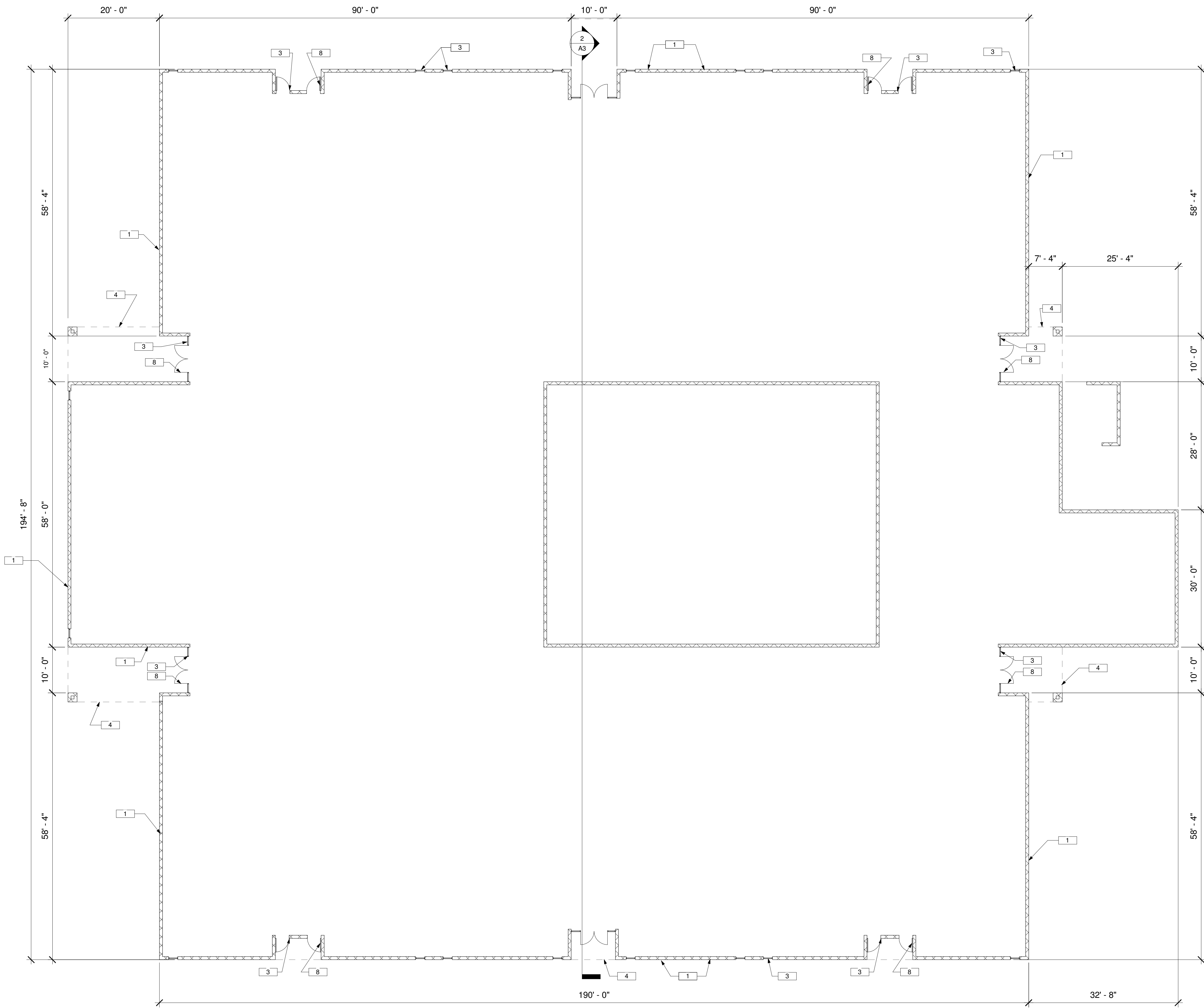
EXISTING LOWER ROOF PARAPET



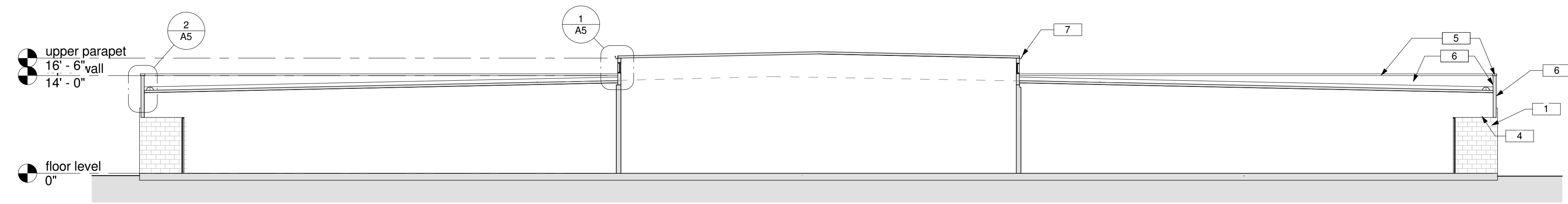
ELOY ELEMENTARY DISTRICT  
 INTERMEDIATE SCHOOL WEATHERIZATION  
 1003 N. SANTA CRUZ AVE, ELOY, AZ

- KEYNOTES**
- 1 EXISTING SPLIT FACE CMU. WASH, PREP, PRIME AND COAT, COLOR TO MATCH EXISTING.
  - 2 EXISTING CONTROL JOINT, CLEAN, INSTALL NEW BACKER ROD AND SEALANT..
  - 3 METAL WINDOW AND DOOR FRAMES. REMOVE BUILDING SEALANTS, CLEAN JOINT AND INSTALL NEW SEALANT. CLEAN METAL, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
  - 4 EXISTING GYP BOARD SOFFIT TO BE REPAIRED, PRIMED AND PAINTED.
  - 5 PROVIDE AND INSTALL NEW METAL COPING TYPICAL ON LOWER PARAPET WALLS.
  - 6 EXISTING STUCCO FINISH, CLEAN, REPAIR CRACKS AND HOLES, PREP AND PAINT.
  - 7 REPLACE EXISTING METAL GUTTER WITH NEW 5"x5" 18ga BOX GUTTER. INSTALL UNDER EDGE FLASHING OF SINGLE PLY ROOFING MATERIAL. INSTALL NEW 4" SQ. DRAIN LEADERS (3 LOCATIONS PER SIDE) AND PROVIDE NEW WALKPADS FOR SPLASH BLOCKS.
  - 8 HOLLOW METAL DOORS, PROTECT HARDWARE, CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
  - 9 EXISTING ROOF DRAINS, PROVIDE NEW DRAIN BASKETS WHERE MISSING. PRESSURE WASH OUT DRAIN LINES TO INSURE CLEAR FLOW.
  - 10 ROOF TOP EQUIPMENT REMAINS, TYPICAL.
  - 11 EXISTING METAL TRIM OR FLASHING, REMOVE AND REPLACE SEALANTS. CLEAN, PREP, PRIME AND PAINT WHERE EXPOSED. COLOR TO MATCH EXISTING.

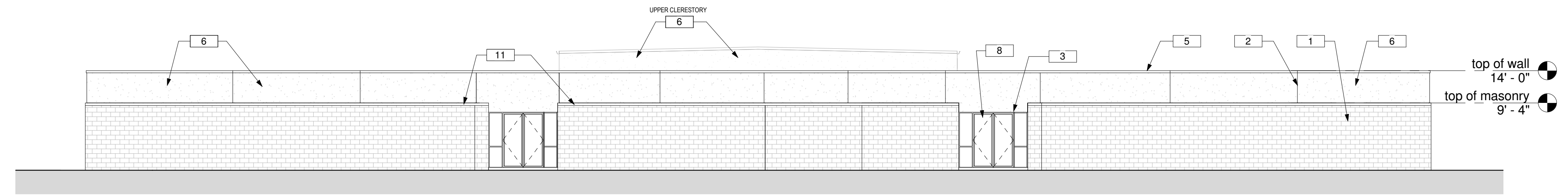
**GENERAL NOTE:**  
 TYPICAL AT ALL EXTERIOR WALLS  
 REMOVE EARTH OR ASPHALT AGAINST BUILDING WALL TO APPROX. 12" BELOW ADJACENT GRADE LEVEL PRIOR TO CLEANING PREPPING AND COATING. EXTEND WALL COATING APPLICATION TO FLOOR LEVEL. APPLY THOROSEAL OR EQUAL ON CONCRETE STEMWALL FROM FLOOR LEVEL TO APPROX 10" BELOW GRADE. FILL BACK MATERIAL AT COMPLETION OF PROJECT. DISTRICT WILL REPLACE ASPHALT WHERE REMOVED.



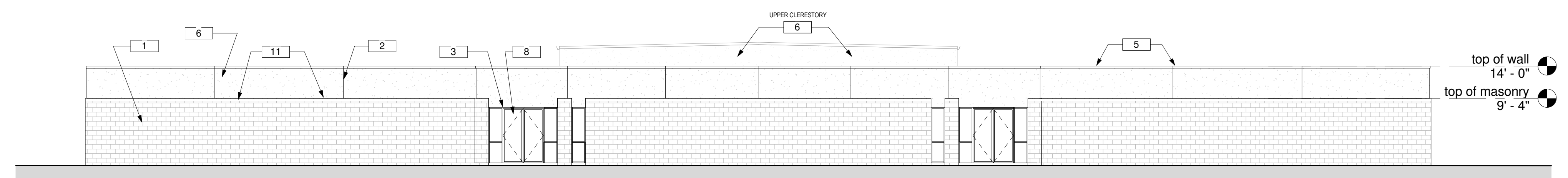
Revision	Revision Date
1	01/09/17
Clarifications	
Project number	110411104-9999-001
Date	12/13/16
Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	FLOOR PLAN



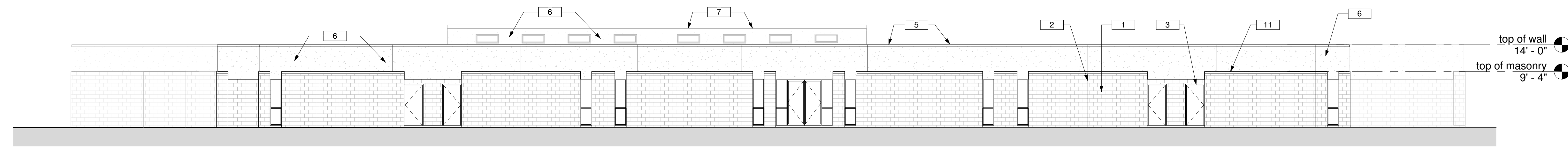
2 SECTION LOOKING WEST  
 3/32" = 1'-0"



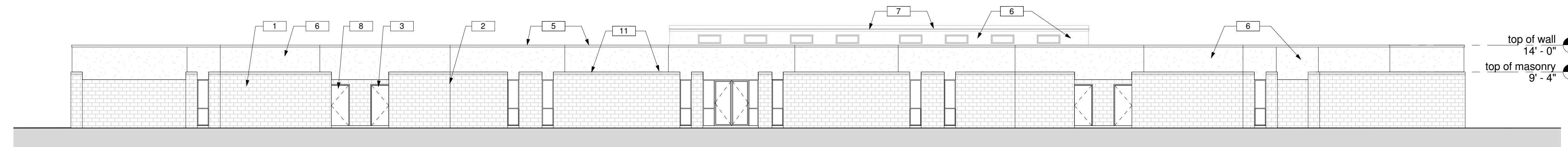
1 EAST ELEVATION  
 3/32" = 1'-0"



6 WEST ELEVATION  
 3/32" = 1'-0"



4 NORTH ELEVATION  
 3/32" = 1'-0"

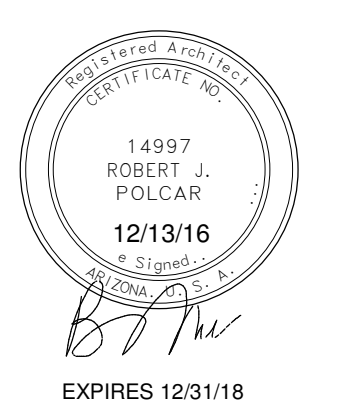


5 SOUTH ELEVATION  
 3/32" = 1'-0"

KEYNOTES

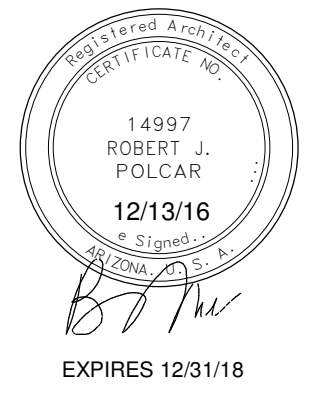
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 EXTEND WALL COATING APPLICATION TO  
 FLOOR LEVEL. APPLY THOROSEAL OR  
 EQUAL ON CONCRETE STEMWALL FROM  
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Revision	1	Revision Date	01/09/17
Clarifications			
Project number	110411104-9999-001		
Date	12/13/16		
Drawn by	BP		
Checked by	BP		
Sheet Size	ARCH D 24"x36"		
Sheet Name	ELEVATIONS		

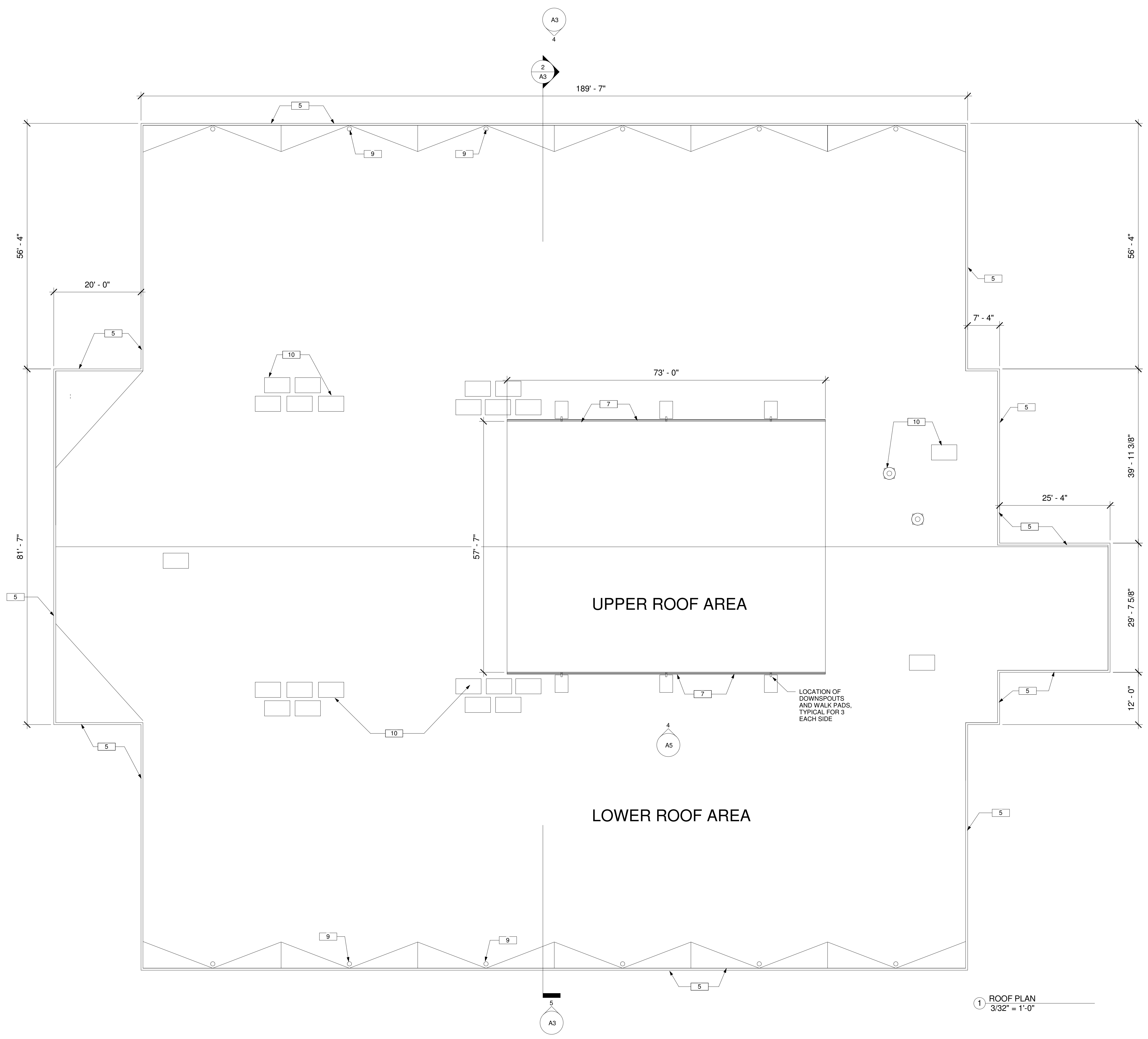
ELOY ELEMENTARY DISTRICT  
 INTERMEDIATE SCHOOL WEATHERIZATION  
 1003 N. SANTA CRUZ AVE, ELOY, AZ

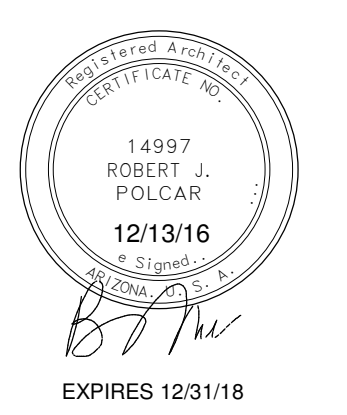


Revision	Revision Date
Project number	110411104-9999-001
Date	12/13/16
Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	ROOF PLAN

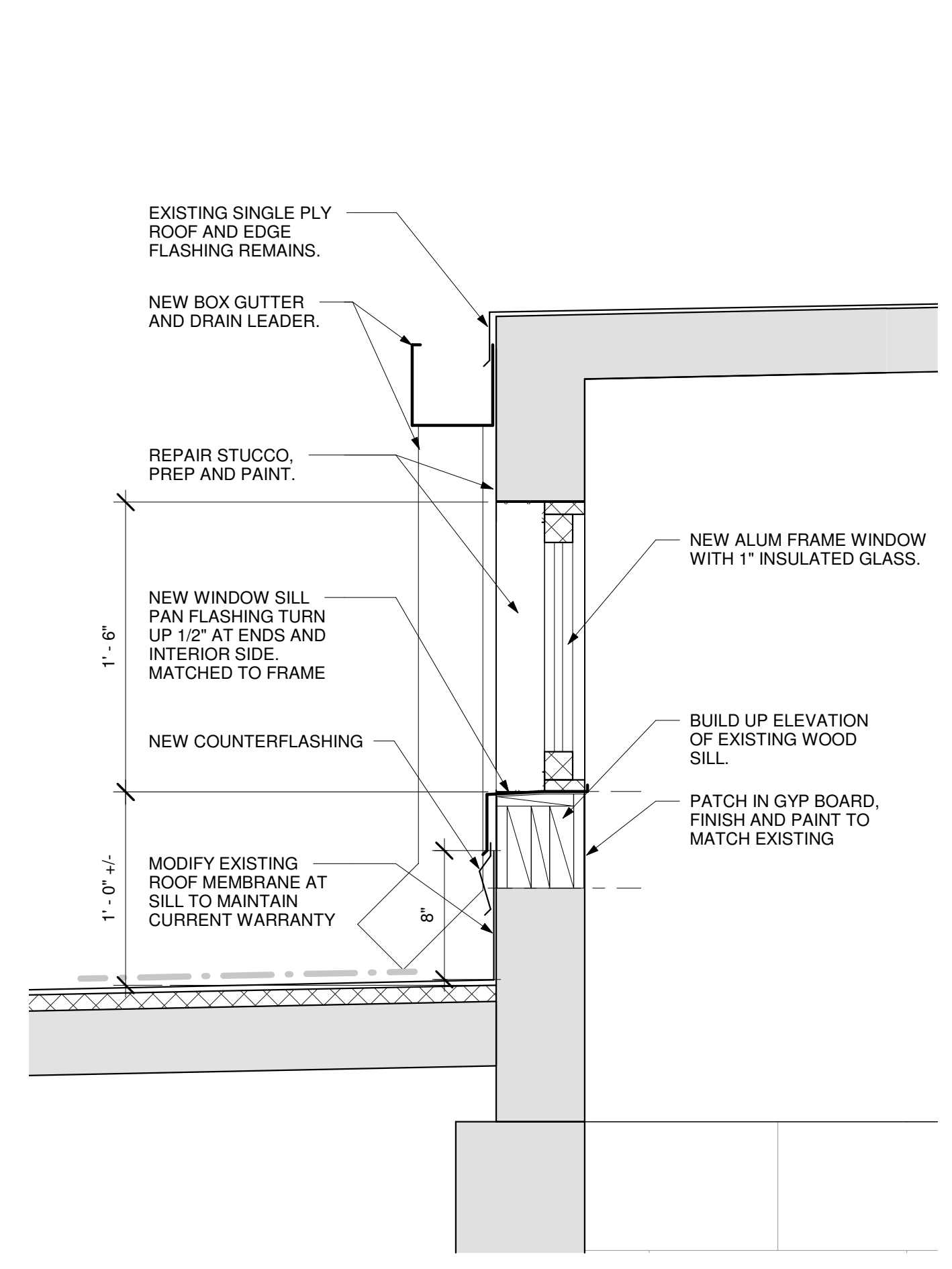
KEYNOTES

- EXISTING SPLIT FACE CMU. WASH, PREP, PRIME AND COAT. COLOR TO MATCH EXISTING.
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- EXISTING GYP BOARD SOFFIT TO BE REPAIRED, PRIMED AND PAINTED.
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- EXISTING STUCCO FINISH, CLEAN, REPAIR CRACKS AND HOLES, PREP AND PAINT.
- REPLACE EXISTING METAL GUTTER WITH NEW 5"x5" 18ga BOX GUTTER. INSTALL UNDER EDGE FLASHING OF SINGLE PLY ROOFING MATERIAL. INSTALL NEW 4" SQ. DRAIN LEADERS (3 LOCATIONS PER SIDE) AND PROVIDE NEW WALKPADS FOR SPLASH BLOCKS.
- HOLLOW METAL DOORS, PROTECT HARDWARE, CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
- EXISTING ROOF DRAINS, PROVIDE NEW DRAIN BASKETS WHERE MISSING. PRESSURE WASH OUT DRAIN LINES TO INSURE CLEAR FLOW.
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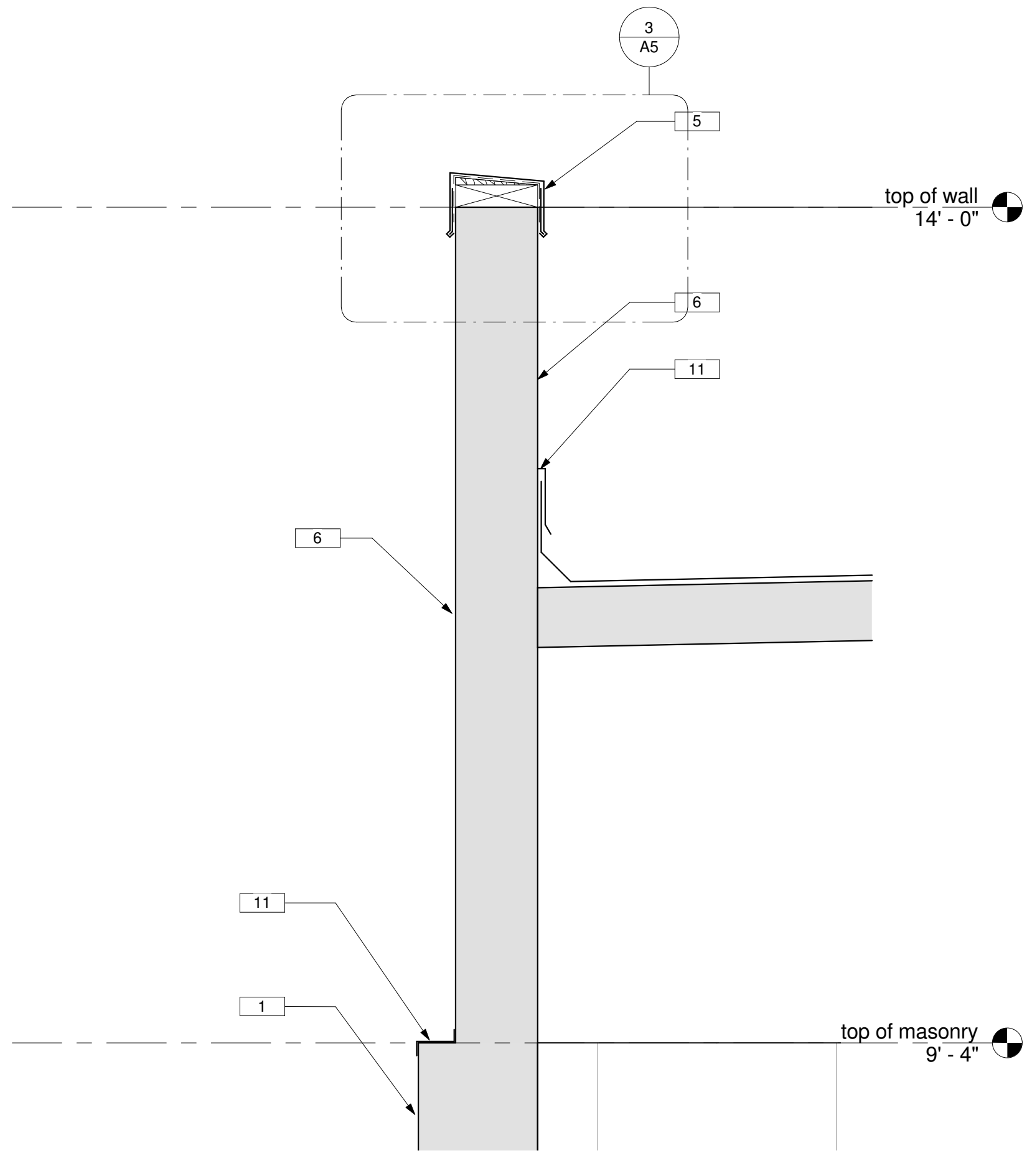




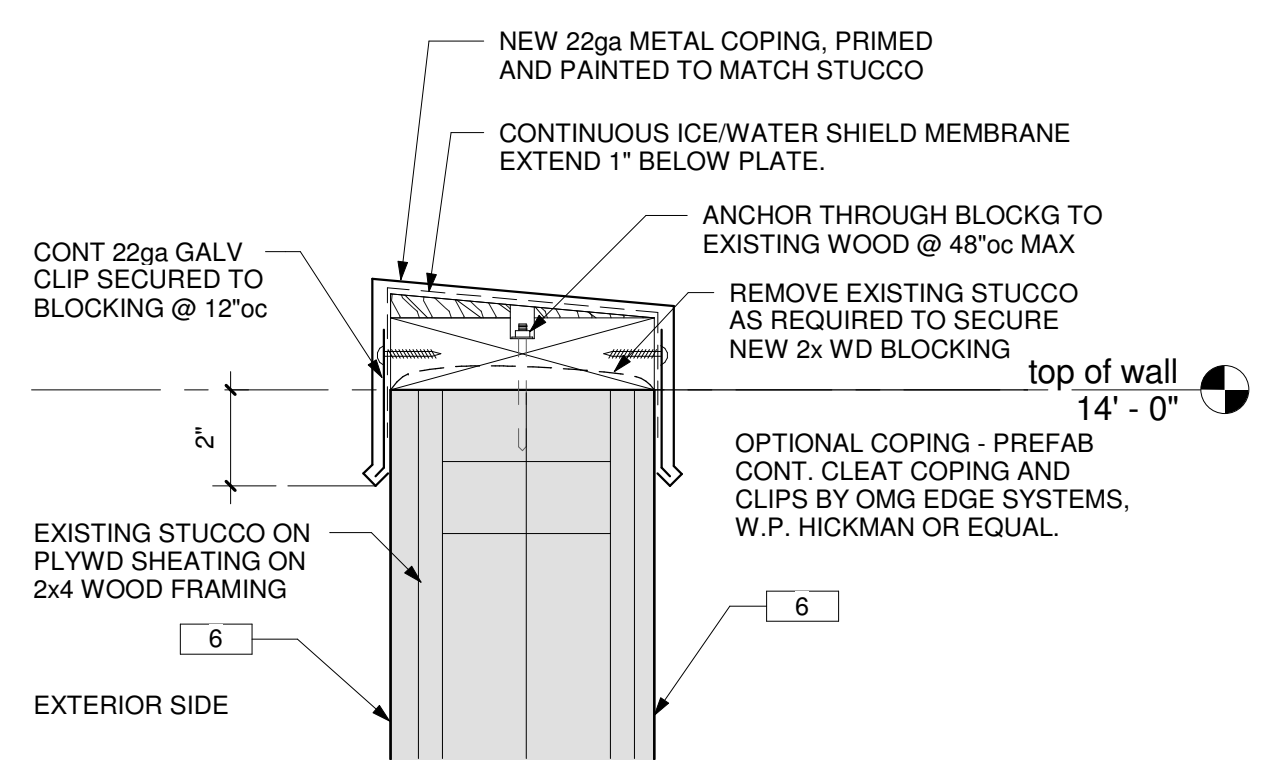
Revision	Revision Date
Project number	110411104-9999-001
Date	12/13/16
Drawn by	BP
Checked by	BP
Sheet Size	ARCH D 24"x36"
Sheet Name	DETAILS



1 DETAIL AT CLERESTORY WINDOW  
 1 1/2" = 1'-0"



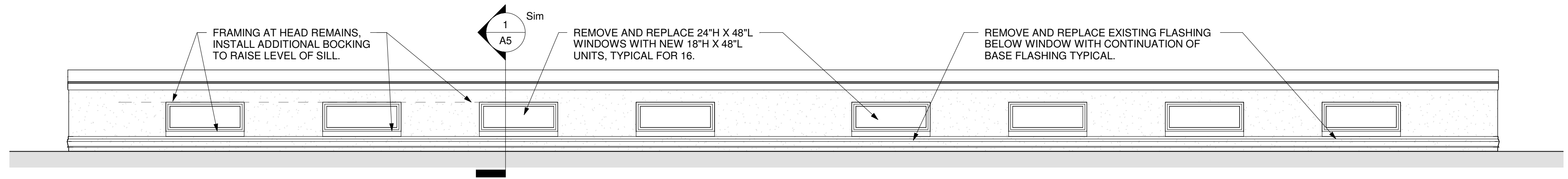
2 LOWER PARAPET DETAIL  
 1 1/2" = 1'-0"



3 NEW METAL COPING DETAIL  
 3" = 1'-0"

KEYNOTES

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4 SOUTH ELEV CLERESTORY  
 1/4" = 1'-0"



EXISTING CLERESTORY WINDOW TO BE REPLACED



EXISTING CLERESTORY WINDOW TO BE REPLACED

January 9, 2017

Eloy Elementary District  
Weatherization Projects for:  
Intermediate School  
Junior High School  
Junior High School Gymnasium

Review of submittals

Product Submitted	Action
Johns Manville	
RetroPlus Roof Board	Approved
DynaMax S	Approved
DynaMax FR Plus	Approved
PermaFlash	Approved
TopGard	Approved
ICP Adhesives	
Polyurethane Foam Insulation Adhesive	Approved
Polyglass USA	
Elastoflex SA P	Approved
Elastoflex SA V	Approved
Polyglass Flashing	Approved
Tapered Polyisocyanurate	Approved
PG 700 Roof Coating	Approved

Response to bidder questions:

1. What is the construction of roof decks?
  - a. At the Junior High the Walkway, Kitchen and Cafeteria are concrete tees, the Locker room is plywood wood deck.
  - b. At the Junior High Gym the deck is plywood.
2. Are you putting any insulation above the deck to install the new roof over?
  - a. No insulation above deck at the Gym.
  - b. 1-1/2" insulation board above the deck at the Junior High.
3. What UL and FM codes are required?
  - a. Refer to project specifications for code requirements.
4. Are you requiring any title 24 requirements?
  - a. Not for this project.

End of document.



ROBERT POLCAR ARCHITECTS, INC  
ARCHITECTURE • PLANNING • INTERIORS  
4226 N. 84<sup>th</sup> Place, Scottsdale, Arizona 85251  
p| 480.675.9760 c| 602.363.4096

