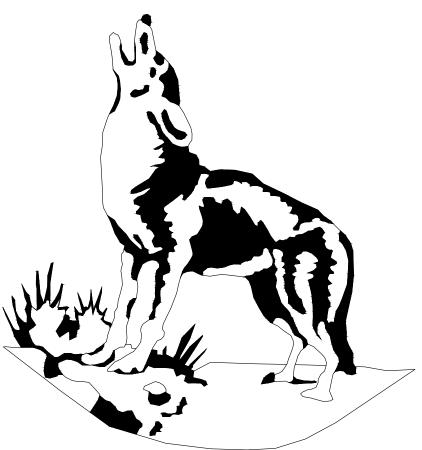
# **2017 SFB - ROOF IMPROVEMENTS**

# HASSAYAMPA ELEMENTARY SCHOOL





## **251 S. TEGNER ST.** WICKENBURG, ARIZONA 85390







3003 n central ave sixteenth floor phoenix az 85012 mail@owp.com 602.257.1764 t 602.257.9029 f

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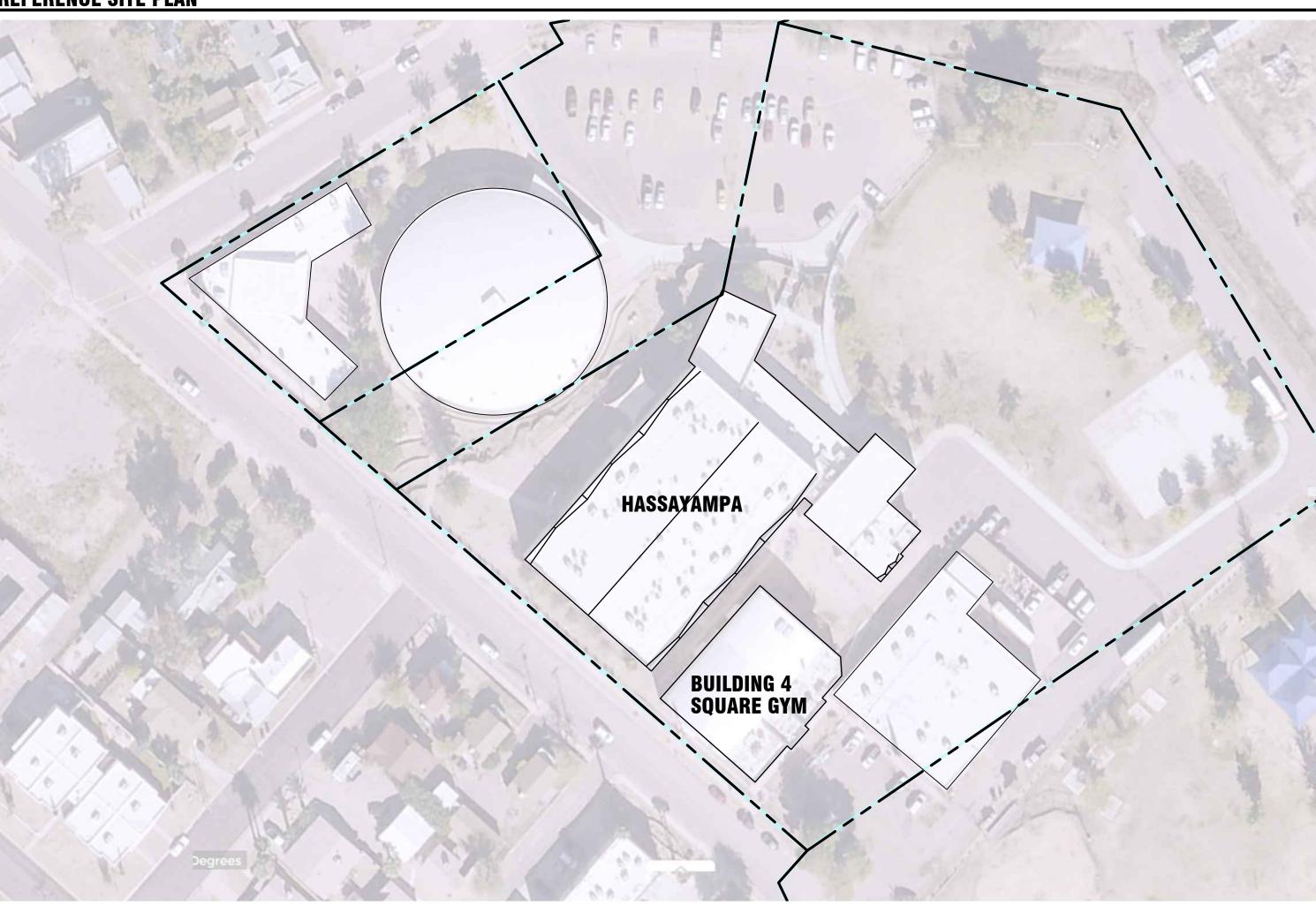


#### **REFERENCE SITE PLAN**

nli ln	
A.B.	ANCHOR BOLT
ACT	ACOUSTICAL CEILING TILE
A.F.F.	ABOVE FINISHED FLOOR
AGGR.	AGGREGATE
AL.	ALUMINUM
ALT.	ALTERNATE
APPROA.	APPROXIMATE ARCHITECTURAL
ANCH.	ARCHITECTURAL
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLK'G	BLOCKING
BM.	BEAM
BOT.	BOTTOM
BTWN.	BETWEEN
B.U.R.	BUILT UP ROOFING
B.W.	BOTH WAYS
<u>.</u>	
C.J.	CONTROL JOINT
CLG. CLKG.	CEILING CAULKING
CLRG. CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
C.T.	CARPET TILE
DEG.	DEGREE
DET. / DETL	
D.F.	DRINKING FOUNTAIN
DIAG. DIA.	DIAGONAL DIAMETER
DIA. DN.	DOWN
DN. DS.	DOWNSPOUT
DWG.	DRAWING
E	EAST
(E)	EXISTING
ÉÁ.	EACH
E.J.	EXPANSION JOINT
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM
	ELEVATION
ELEC.	ELECTRICAL
EMER.	EMERGENCY
ENCL.	ENCLOSURE
EQ.	EQUAL
EQUIP. E.W.	EQUIPMENT EACH WAY
E.W.C.	ELECTRIC WATER COOLER
EXP.	EXPANSION
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.D.	FLOOR DRAIN
F.D.C.	FIRE DEPARTMENT CONNECTION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	
F.H.C. FIN.	FIRE HOSE CABINET FINISH
F.L.	FLOW LINE
FLR.	FLOOR
FLOUOR.	
FND.	FOUNDATION
F.O.B.	FACE OF BRICK
F.O.C.	FACE OF CONCRETE
F.S.	FULL SIZE
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRING
GA.	GAUGE
GALV.	GALVANIZED
GALV. G.C.	GENERAL CONTRACTOR
GL.	GLASS
GR.	GRADE
GYP.	GYPSUM
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIB
H.C.	HOLLOW CORE
H/C	HANDICAPPED
HDWD. HDWE.	HARDWOOD HARDWARE
HDWE. H.M.	HARDWARE HOLLOW METAL
HR.	HOUR
HT.	HEIGHT

I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
JNT.	JOINT
JST.	JOIST
KIT.	KITCHEN
LAB.	LABORATORY
LAM.	LAMINATE
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURER
M.H.	MANHOLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MTL.	METAL
MUL.	MULLION
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OH.	OVERHEAD
OPG.	OPENING
OPP.	OPPOSITE
PCT.	PRE-CAST
P.L.	PROPERTY LINE
PLAM.	PLASTIC LAMINATE
P.	PLASTER
PLYWD.	PLYWOOD
PR.	PAIR
	RISER ROOF DRAIN REFER TO REFRIGERATOR REQUIRED ROOM ROUGH OPENING
S S.C. SCHED. SECT. S.F. SIM. SPEC. SQ. S.S. STAGG. STD. STIFF. STL. STRUC. SUSP.	SECTION SQUARE FOOT SHEET SIMILAR SPECIFICATION SQUARE STAINLESS STEEL STAGGERED STANDARD STIFFENER STEEL
TR.	READ
T & B	TOP AND BOTTOM
TER.	TERRAZZO
T & G	TONGUE AND GROOVE
THK.	THICK
T/	TOP OF
TYP.	TYPICAL
VCT	VINYL COMPOSITION TILE
VER.	VERIFY
VERT.	VERTICAL
W	WEST
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W/O	WITHOUT

#### **REFERENCE SITE PLAN**



#### **ROOFING GENERAL NOTES**

- A. ALL NEW ROOF PENETRATIONS TO BE FULLY WATER TIGHT. REPAIR EXISTING METAL FLASHING/FASCIA AS REQUIRED. REFER TO DETAILS.
- B. ROOF AREA NUMBERS ARE SHOWN FOR ROOF AREA LOCATION COMMUNICATION PURPOSES ONLY.
- C. ALL MECHANICAL UNITS, EXHAUST FANS, MECHANICAL EQUIPMENT, ETC. MOUNTED ON ROOF SHALL BE PROVIDED WITH CRICKETING AS REQUIRED TO PROVIDE POSITIVE ROOF DRAINAGE, TYPICAL.
- D. VERIFY ALL ROOF DECK CONDITIONS PRIOR TO ANY ROOFING ACTIVITIES.
- E. COORDINATE ALL MECHANICAL ROOF MOUNTED EQUIPMENT FOR PROPER CURB REQUIREMENTS AND PENETRATION OPENINGS SO THAT PROPER FLASHING MAY BE INSTALLED AS TO CONFORM WITH THE MANUFACTURER'S STANDARD DETAILS / INSTALLATION REQUIREMENTS.
- F. NOT ALL PENETRATIONS MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY. FOR TYPICAL VENT AND PIPE PENETRATIONS THROUGH ROOF MEMBRANE, G. SEE TYPICAL DETAILS
- H. REFER TO PLANS FOR LOCATIONS OF NEW COPING, GUTTERS, AND ASSOCIATED DETAILS.
- I. ALL SHEET METAL FABRICATIONS TO COMPLY WITH THE LATEST SMACNA ARCHITECTURAL SHEET METAL MANUAL - TYPICAL.

- REMOVE ALL EXISTING PARAPET WALL REGLETS (U.N.O.) EXISTING PARAPET WALL COUNTER FLASHING AT REGLET TO BE REMOVED FOR INSTALLATION OF NEW ROOF MEMBRANE. INSTALL NEW COUNTER FLASHING AS REQUIRED TO CONFORM WITH MANUFACTURES ROOF WARRANTY. PAINT ALL REGLETS AND COUNTER FLASHING COLOR TO MATCH ADJACENT PARAPET WALLS.
- K. MECHANICAL UNITS, EQUIPMENT, VENTS, ETC. SHOWN ARE DIAGRAMMATIC. THEY ARE NOT TO SCALE AND THE LOCATIONS ARE APPROXIMATE. NOT ALL ROOFING PENETRATIONS HAVE BEEN SHOWN. CONTRACTOR TO FIELD VERIFY QUANTITIES, SIZES, AND LOCATIONS OF MECHANICAL AND ELECTRICAL PENETRATIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ADDITIONAL ROOFING PENETRATIONS NOT INDICATED ON DRAWINGS.
- L. CONTRACTOR IS RESPONSIBLE TO VISIT SITE TO ASCERTAIN THE FULL EXTENT OF THE WORK REQUIRED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO ASCERTAIN FULL EXTENT OF THE WORK REQUIRED THROUGH VISUAL INSPECTION OF EXISTING CONDITIONS AND THAT DETAILED AND SPECIFIED WITHIN THE CONTRACT DOCUMENTS.
- M. ROOF SLOPED INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY IF SLOPE IS PROVIDED IN THE STRUCTURE OF BUILDING OR IF TAPERED INSULATION WILL BE REQUIRED TO PROVIDE SLOPE
- N. CONTRACTOR TO PROVIDE WARRANTED WATER TIGHT ROOF CONSTRUCTION AND FLASHING AT ALL NEW ROOFING INSTALLATIONS EXCEPT AT EXISTING ROOFING TO REMAIN. CONTRACTOR TO VISUALLY INSPECT ALL METAL COPING TO REMAIN FOR POTENTIAL SOURCES OF LEAKS AND PROVIDE REPORT TO ARCHITECT FOR REVIEW.
- O. PREPARE ROOF SYSTEM FOR FUTURE LIGHTING PROTECTION SYSTEM. FUTURE SYSTEM BY OWNER - NOT IN CONTRACT.

#### **GENERAL NOTES**

- A. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES HAVING JURISDICTION ON THIS PROJECT.
- B. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH ANY CONSTRUCTION SO INVOLVED.
- C. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, CLEARANCES, AND CONDITIONS. ANY DISCREPANCIES OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- D. WE CERTIFY TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DESIGN OF THIS PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS & REQUIREMENTS OF SECTION 34-4-1 TO 34-411 INCLUSIVE OF THE STATUTES OF THE STATE OF ARIZONA.
- AS PER THE SPECIFICATION SECTION FOR PROJECT CLOSE-OUT, THE ARCHITECT WILL ISSUE A "CERTIFICATE OF SUBSTANTIAL COMPLETION OF THE PROJECT WORK".
- ANY FUTURE CHANGE OR REVISIONS TO THESE PLANS SHALL BE SUBMITTED TO THE CITY FOR REVIEW, AND APPROVAL PRIOR TO COMMENCING ANY WORK.
- G. ALL CHANGES AND/OR REVISIONS SHALL BE NOTED ON THE PLANS BY "CLOUDING" THE AREAS AFFECTED BY THESE REVISIONS OR CHANGES, AND WITH "DELTAS" INDICATING THE NUMBER OF TIMES THE CHANGES OCCUR. IN ADDITION, THE DATE OF THESE CHANGES OR REVISIONS SHALL BE INDICATED. THIS DATA SHALL ALSO BE PLACED IN THE TITLE BLOCK, IN AN APPROPRIATE BULLETIN OR SCHEDULE.
- H. SEE SPECIFICATIONS FOR PRIOR APPROVALS. IF NO PRIOR APPROVAL IS SUBMITTED THEN BID MUST BE TO ROOF MANUFACTURE SPECIFIED AS "BASIS OF DESIGN"

#### **VICINITY MAP**







PROJECT INFO	
PROJECT NAME:	ROOF IMPROVEMENTS
OWNER:	WICKENBURG UNIFIED SCHOOL DISTRICT # 40 WEST YAVAPAI STREET WICKENBURG, ARIZONA 85390
PROJECT ADDRESS:	HASSAYAMPA ELEMENTARY SCHOOL 251 SOUTH TEGNER STREET WICKENBURG, ARIZONA 85390
ROOF CONSULTANT / ARCHITECT:	ARCHITECHNOLOGY INC. LARRY M. LIND, A.I.A. PRINCIPAL ARCHITECT / ROOF CONSULTAN 5229 N. 7TH AVE. STE 101 PHOENIX, ARIZONA 85013 P (602) 347-5226 F (602) 234-1561
<b>WICKENBURG S</b> GOVERNING BOARD:	<b>SCHOOL DISTRICT #9</b> BOARD PRESIDENT - JOSEPH MAGLIO
	BOARD PRESIDENT - JOSEPH MAGLIO
	BOARD PRESIDENT - JOSEPH MAGLIO BOARD MEMBER - AMY BROWN
	BOARD PRESIDENT - JOSEPH MAGLIO BOARD MEMBER - AMY BROWN BOARD MEMBER - SANDEE GILL
GOVERNING BOARD:	BOARD PRESIDENT - JOSEPH MAGLIO BOARD MEMBER - AMY BROWN BOARD MEMBER - SANDEE GILL BOARD MEMBER - SUSAN WEBSTER
GOVERNING BOARD: SUPERINTENDENT:	BOARD PRESIDENT - JOSEPH MAGLIO BOARD MEMBER - AMY BROWN BOARD MEMBER - SANDEE GILL BOARD MEMBER - SUSAN WEBSTER HOWARD C. CARLSON, Ed.D. 40 WEST YAVAPAI STREET WICKENBURG, ARIZONA 85390 P (928) 668-5350

DIRECTOR OF FACILITIES OF CONSTRUCTION P (928) 668-5347

#### **APPLICABLE CODES**

**TOWN OF WICKENBURG** ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING BUILDING

CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES: 2006 INTERNATIONAL BUILDING CODES 2006 INTERNATIONAL RESIDENTIAL CODES 2006 INTERNATIONAL MECHANICAL CODE 2003 INTERNATIONAL FIRE CODE 2006 INTERNATIONAL PLUMBING CODE 2006 INTERNATIONAL EXISTING BUILDING CODE 2005 NATIONAL ELECTRICAL CODE (NFPA 701990) 2006 INTERNATIONAL FUEL GAS CODE 2006 INTERNATIONAL ENERGY CONSERVATION CODE 1997 UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS

2007 MARICOPA ASSOCIATION OF GOVERNMENTS UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION

#### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD:	0 P/SF			
WIND SPEED:	90 mph ( 3 second gust)			
SEISMIC DESIGN CATEGORY:	В			
EXPOSURE:	C			
SUBJECT TO DAMAGE FROM:				
WEATHERING:	NEGLIGIBLE			
FROST LINE DEPTH:	12"			
TERMITE:	MODERATE TO HEAVY			
WINTER DESIGN TEMP.:	32F			
ICE BARRIER UNDERLAYMENT: 0				
FLOOD HAZARDS:	JURISDICTION SPECIFIC			
AIR FREEZING INDEX:	0			
MEAN ANNUAL TEMP.:	66.7F			

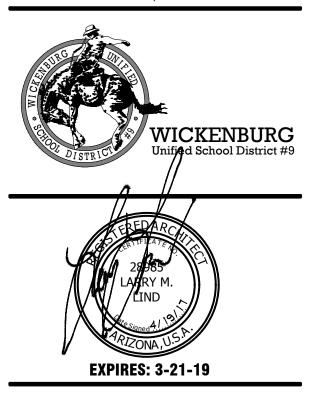
#### **SHEET INDEX**

- G1.1 PROJECT INFORMATION / REFERENCE SITE PLAN
- A1.1 OVERALL ROOF PLAN
- A2.1 HASSAYAMPA / BUILDING 1 DEMOLITION ROOF PLANS
- A3.1 PHOTOGRAPHS
- A4.1 HASSAYAMPA / BUILDING 1 ROOF PLANS
- A5.1 DETAILS

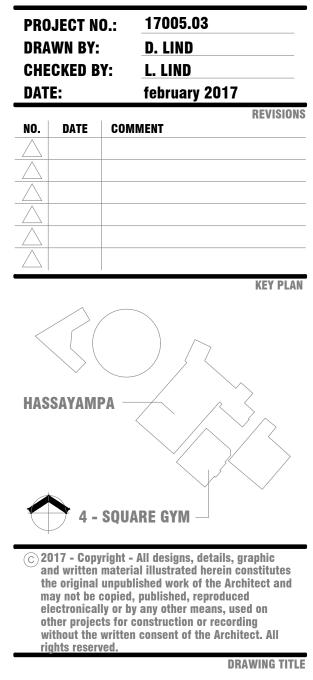


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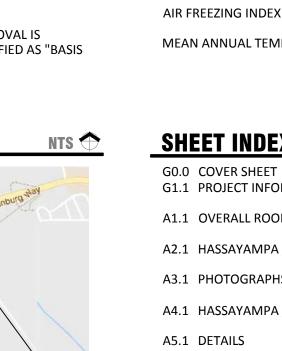


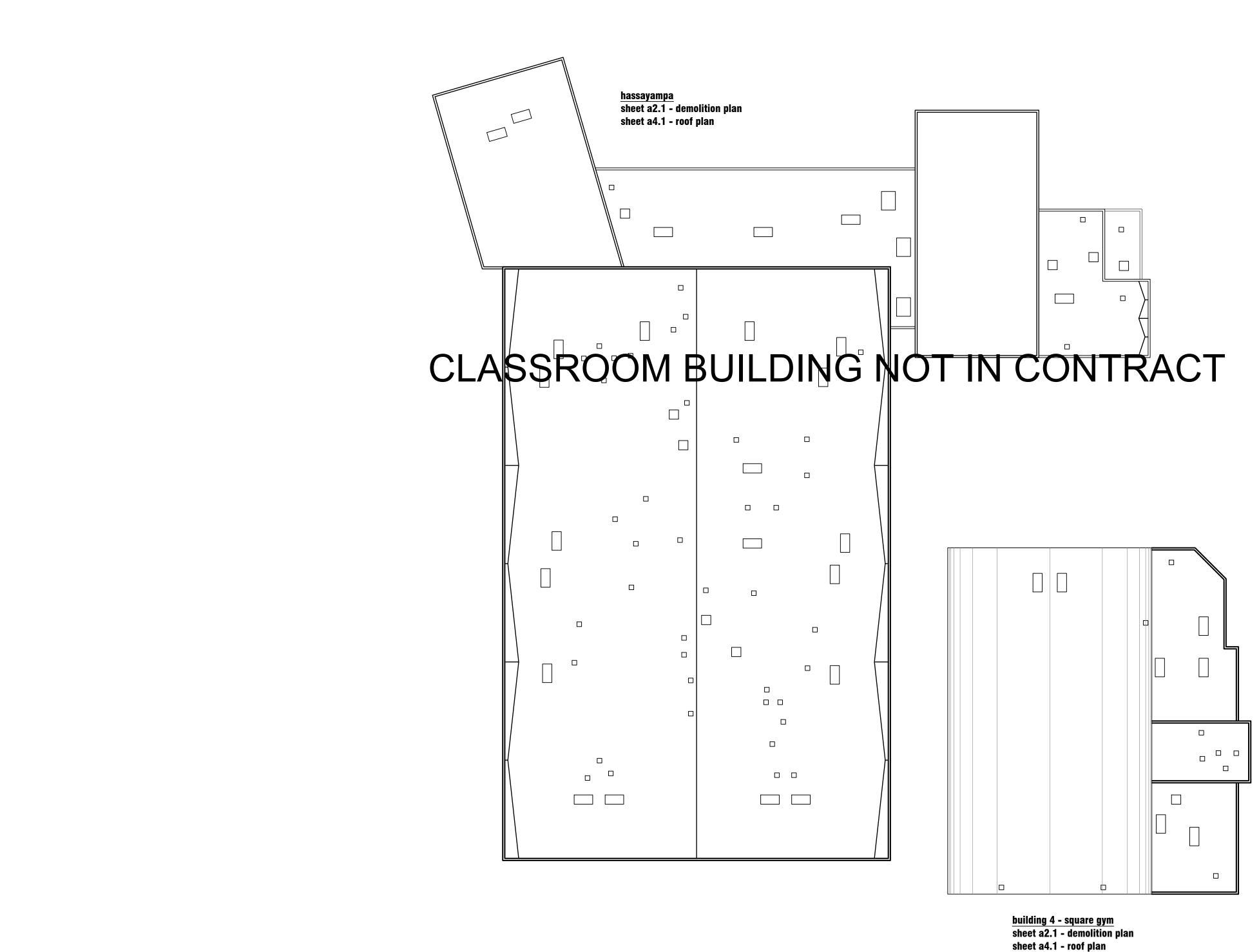




general information / reference site plan







sheet a4.1 - roof plan



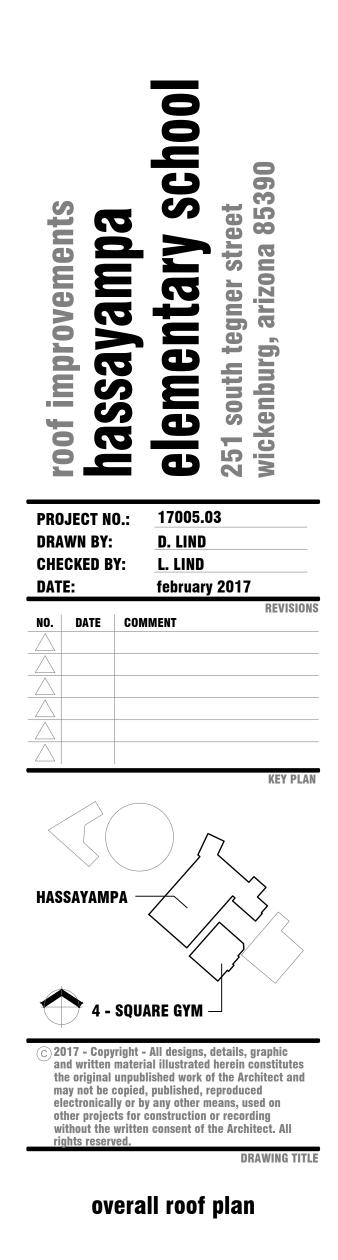


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DRAWING NUMBER

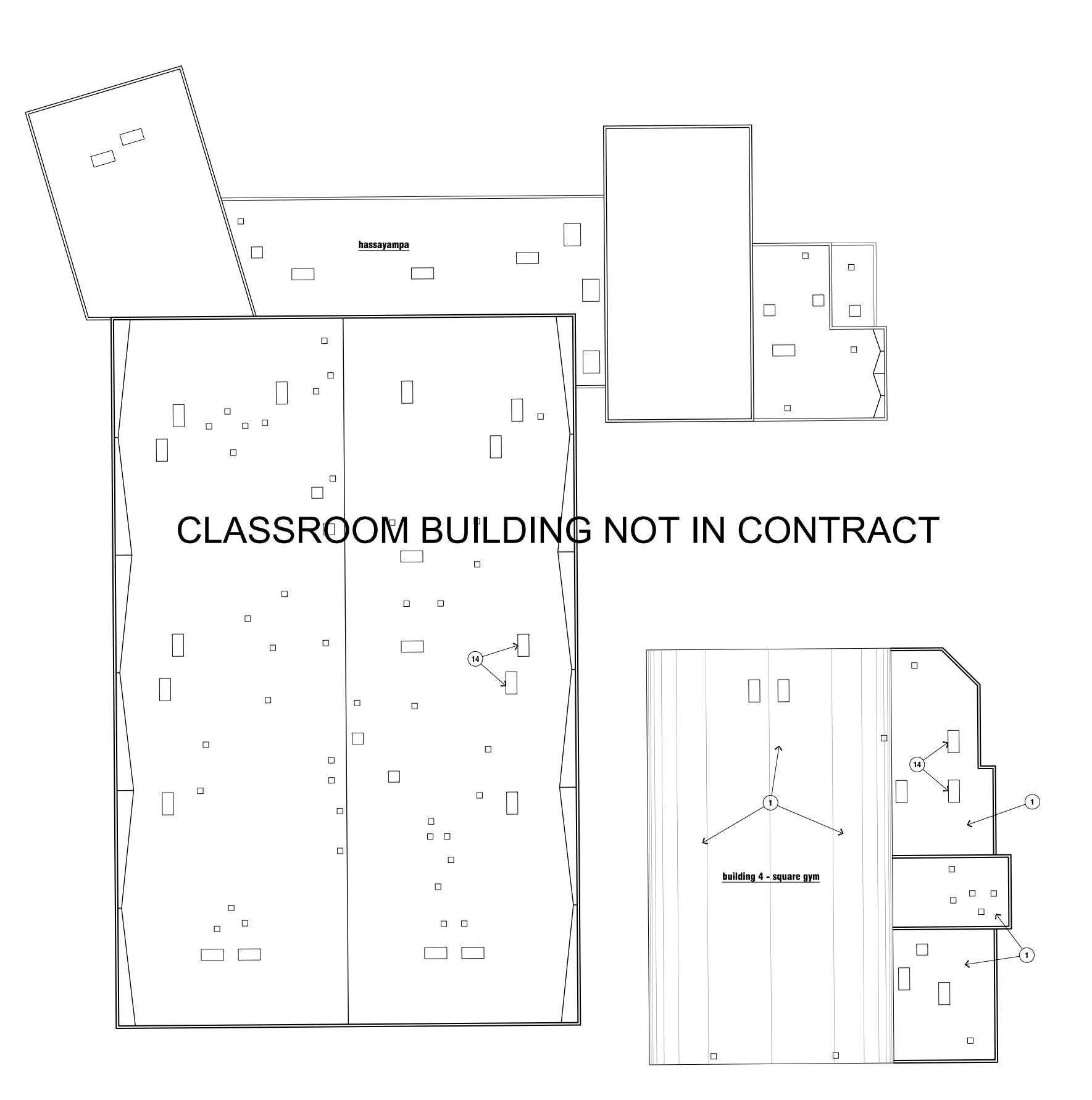
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#### legend



METAL ROOF / CANOPY

LOW FLOW SLOPE





#### hassayampa / building 4 - demolition roof plans

scale: 1/16" = 1'-0"

#### KEYNOTES

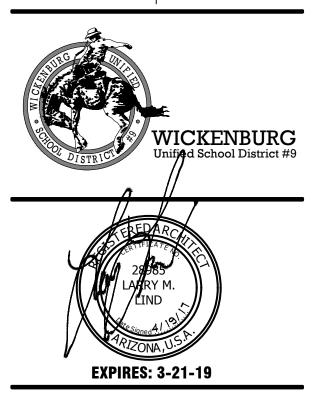
- 1. REMOVE EXISTING ROOF STRUCTURAL DECK.
- 2. REMOVE TILE AND INSTALL UNDERLAYMENT REINSTALL TILE
- 3. REPAIR DAMAGED DECKING AS REQUIRED.
- 4. PROVIDE NEW RIGID INSULATION, TYPICAL SEE
- SPECIFICATIONS.
- 5. PROVIDE NEW MODIFIED BUR ROOFING SYSTEM, **TYPICAL - SEE SPECIFICATIONS**
- 6. CLEAN EXISTING ROOF AND DRAINS AND VERIFY PROPER OPERATION.
- 7. REPAIR EXISTING SCUPPER.
- 8. NEW GUTTER SYSTEM SEE SPECIFICATIONS.
- 9. PROVIDE NEW DOWNSPOUT SEE SPECIFICATIONS.
- 10. REPAIR FASCIA AT PERIMETER SEE SPECIFICATIONS.
- 11. PROVIDE NEW REINFORCED PERIMETER ROOF EDGE DETAIL AT METAL DRIP AS SPECIFIED - SEE DETAIL. 12. PROVIDE NEW COATING AT EXPOSED BLOCK WALLS,
- TYPICAL SEE SPECIFICATIONS. 13. PROVIDE NEW COATING OVER EXISTING ROOF, TYPICAL -
- SEE SPECIFICATIONS. 14. EXISTING HVAC EQUIPMENT - COORDINATE CURB REPLACEMENT AND FLASHING WITH HVAC BOND WORK, TYPICAL.
- 15. CUT OUT BLISTERS OR WET AREA AND REPLACE PRIOR TO COATING.
- 16. PROVIDE NEW SINGLE PLY ROOFING SYSTEM SEE SPECIFICATIONS.
- 17. REPAIR BRICK AT CHIMNEY PROVIDE FLASHING AT CONDUIT - SEE DETAIL.
- 18. EXISTING METAL ROOF NO WORK
- 19. PROVIDE NEW COATING AROUND EXISTING VENTS / VENT PIPES, TYPICAL - SEE SPECIFICATIONS.
- 20. PROVIDE NEW COATING MIN. 12" ABOVE ROOF DECK. DO NOT EXCEED COATING AREA, TYPICAL - SEE SPECIFICATIONS.
- 21. NO WORK THIS AREA.

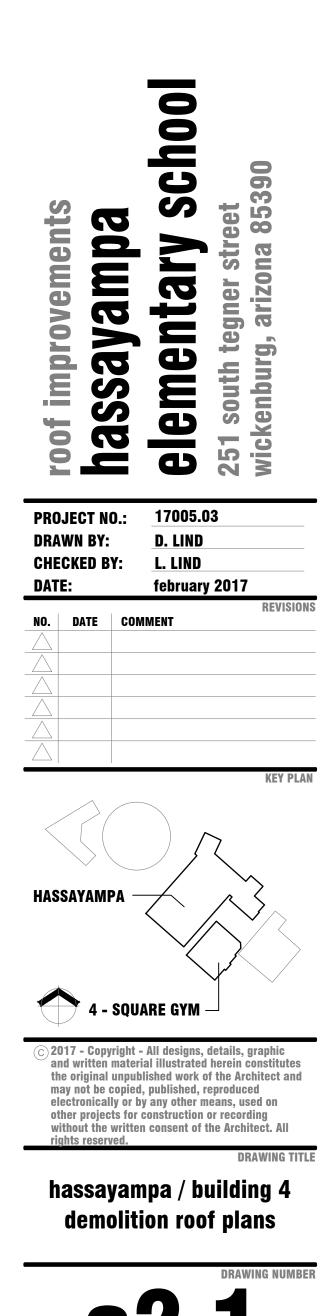


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13 photo #13



9 photo #9 nts





15 photo #15



















10 photo #10 nts



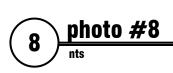


7 photo #7



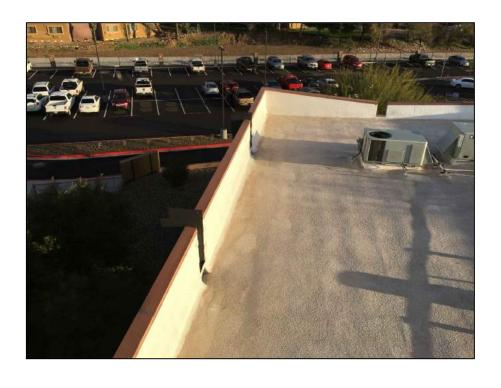
12 photo #12 nts











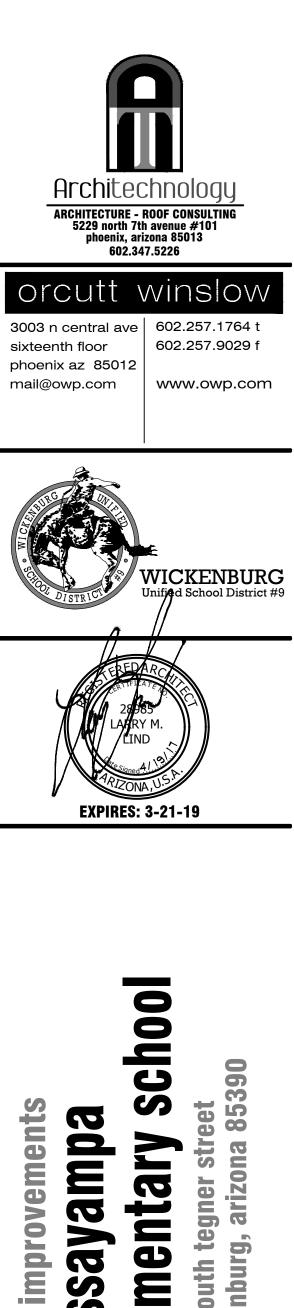


3 photo #3





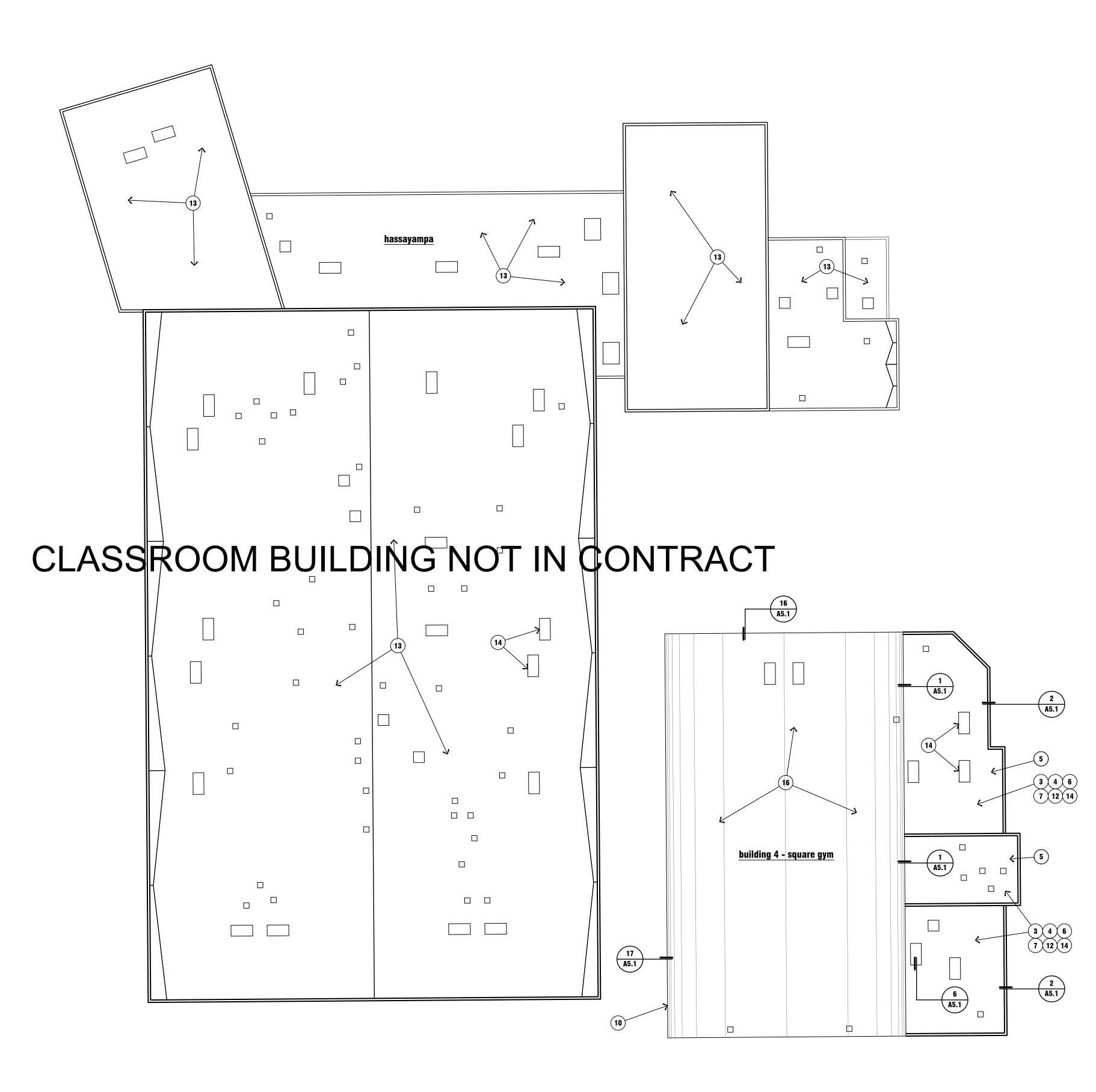






## photographs







### hassayampa / building 4 - new roof plans

scale: 1/16" = 1'-0"

#### KEYNOTES

TILE

- HVAC REPLACEMENT DRAWINGS IN SEPARATE BID PACKAGE
- 1. REMOVE EXISTING ROOF STRUCTURAL DECK.
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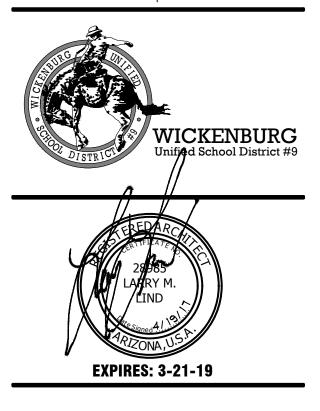
TYPICAL.

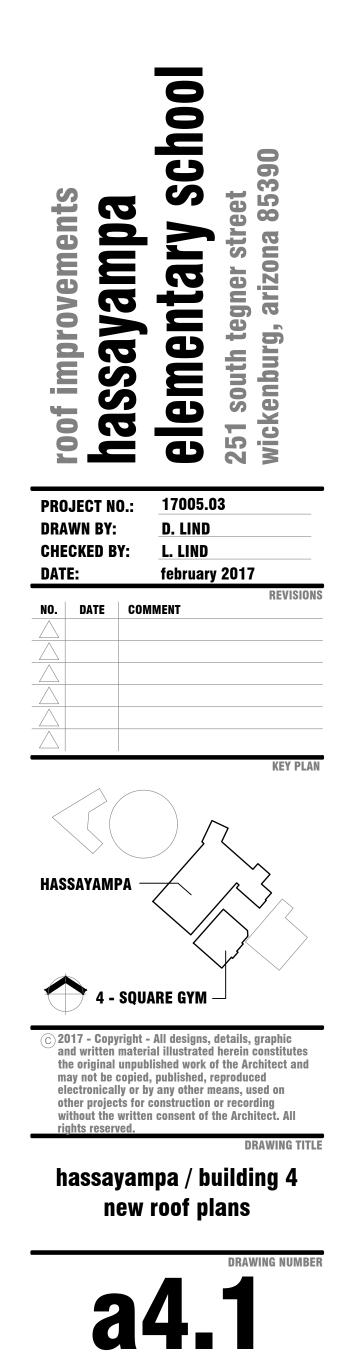


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#### legend



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